

**GENERAL NOTES**

1. ALL WORK IS TO CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED INSPECTIONS AND CERTIFICATES.
4. THE CONTRACTOR WILL BECOME FAMILIAR WITH EXISTING CONDITIONS AND SHALL VERIFY EXISTING FIELD CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
5. FOR GENERAL CONDITIONS REFER TO AIA DOCUMENT A107 1987.
6. ALL WORK IS TO BE WARRANTED FOR A PERIOD NO LESS THAN ONE YEAR.
7. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
8. ALL ELECTRICIANS AND PLUMBERS INVOLVED IN THE WORK ARE TO BE LICENSED.
9. ELECTRICAL WORK SHALL BE FILED SEPARATELY BY THE ELECTRICAL SUBCONTRACTOR.
10. DEMOLITION IS TO BE PERFORMED IN AN ORDERLY MANNER, PER THE RESTRICTIONS, REGULATIONS, AND HOURS SET BY THE BUILDING MANAGEMENT. DEBRIS IS TO BE DISCARDED OFF SITE IN A PROPER MANNER AND NOT BE ALLOWED TO ACCUMULATE IN THE WORK AREA.
11. DIMENSIONS GIVEN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE.
12. THE CONTRACTOR SHALL LAY OUT HIS OR HER OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC...)
13. THE CONTRACTOR IS NOT TO SCALE DIMENSIONS FROM CONSTRUCTION DOCUMENTS. ANY QUESTION REGARDING LOCATIONS AND DIMENSIONS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

**LOCAL LAW #58/87 (HANDICAPPED ACCESS)**

1. THE PROPOSED WORK UNDER THIS APPLICATION IS EXEMPT FROM THE APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 FOR HANDICAPPED ACCESS AND THEREFORE DO NOT NEED TO PROVIDE AN ADAPTABLE DWELLING UNIT.  
" PER SECTION LOCAL LAW 58/BC 27-292 8: ALL j-3 BUILDING CLASSIFICATIONS (ONE AND TWO FAMILY RESIDENCES) ARE EXEMPT FROM ALL APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 FOR HANDICAPPED ACCESS"

**FEMA 2007 + 2013**

\*\* THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER EFFECTIVE 2007 FIRM AND AS PER PRELIMINARY FLOOD MAPS RELEASED IN 2013

**211 FENIMORE ST**

211 FENIMORE ST  
BROOKLYN, NY 11225

**SCOPE OF WORK**

RENOVATION OF EXISTING 3-STORY RESIDENTIAL SINGLE FAMILY HOUSE. INTERIOR WORK INCLUDES NEW PARTITIONS, FIXTURES, AND APPLIANCES. EXTERIOR WORK INCLUDES REPLACEMENT OF WINDOWS AND REMOVAL OF ASPHALT SIDING. INSTALL OF NEW FIBER CEMENT SHINGLES, NEW WROUGHT IRON RAILINGS, RE-BUILDING OF EXISTING GARAGE. NO CHANGE IN EGRESS OR USE.

**PROGRESS INSPECTIONS**

1. HVAC AND SERVICE WATER HEATING EQUIPMENT
2. HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS
3. LIGHTING IN DWELLING UNITS
4. FINAL

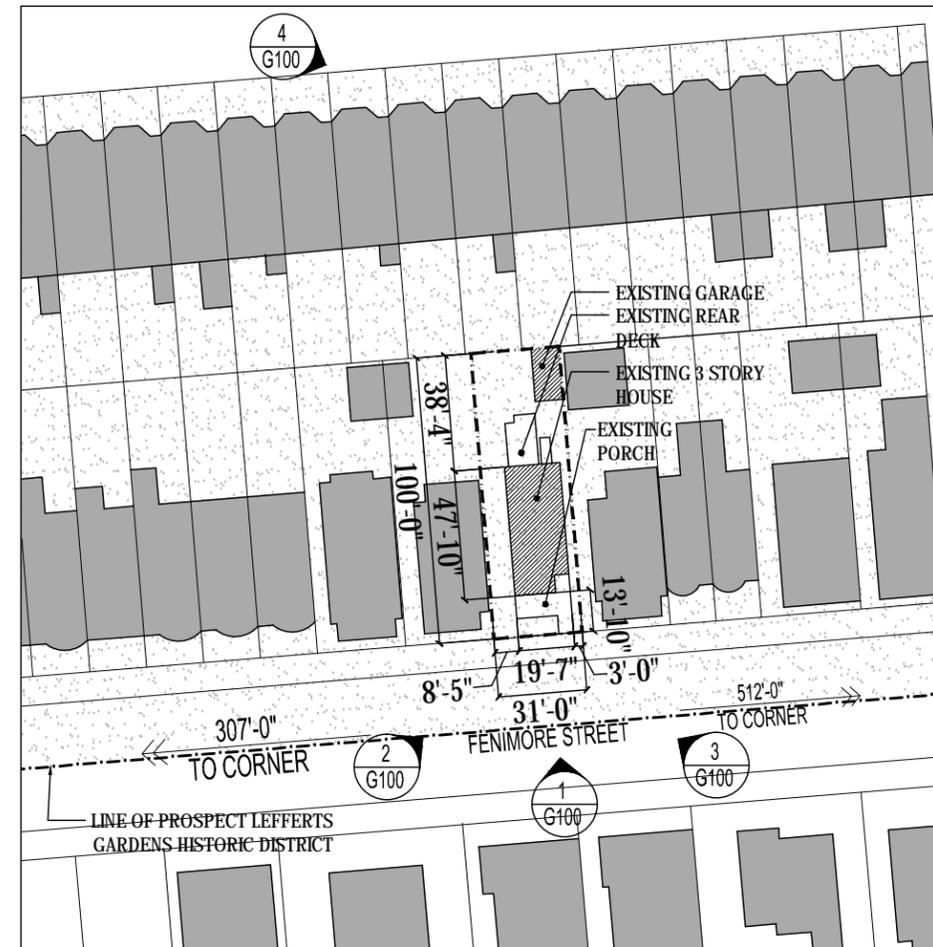
**SPECIAL INSPECTIONS**

1. MECHANICAL SYSTEMS
2. FIRE-RESISTANT PENETRATIONS AND JOINTS

**INDEX OF DRAWINGS ( 48 SHEETS)**

G-000.00	TITLE SHEET AND NOTES	A-200.00	CELLAR FLOOR PLAN	A-607.00	IRON RAILING DETAIL	A-707.00	WINDOW DETAILS
G-001.00	GENERAL NOTES	A-201.00	1ST FLOOR PLAN	A-608.00	EXISTING GARAGE	A-708.00	TYPICAL WINDOW TRIM SPEC
G-100.00	STREET VIEW PHOTOS	A-202.00	2ND FLOOR PLAN		CONDITION PHOTOGRAPHS	A-800.00	WINDOW SCHEDULE
G-101.00	HISTORIC AND PRESENT CONDITION PHOTOGRAPHS	A-203.00	3RD FLOOR PLAN	A-609.00	EXISTING GARAGE	A-801.00	WINDOW SPECIFICATION
G-102.00	PRESENT CONDITION PHOTOGRAPHS	A-600.00	FRONT ELEVATIONS	A-610.00	PROPOSED GARAGE	A-802.00	WINDOW SPECIFICATION
		A-601.00	REAR ELEVATIONS	A-611.00	FINISH MATERIAL SPECIFICATIONS	A-803.00	DOOR SCHEDULE
		A-602.00	EXISTING EAST ELEVATIONS		TYPICAL DETAILS	P-000.00	RADIANT FLOOR PLANS
DM-000.00	DEMO PLAN: SITE	A-603.00	PROPOSED EAST ELEVATIONS	A-700.00	TYPICAL DETAILS	P-001.00	RADIANT FLOOR PLANS
DM-100.00	DEMO PLAN: CELLAR	A-604.00	EXISTING WEST ELEVATIONS	A-701.00	TYPICAL DETAILS	P-100.00	PLUMBING NOTES
DM-101.00	DEMO PLAN: 1ST FLOOR	A-605.00	PROPOSED WEST ELEVATIONS	A-702.00	TYPICAL DETAILS	P-101.00	PLUMBING DIAGRAMS
DM-102.00	DEMO PLAN: 2ND FLOOR		EXISTING EAST ELEVATIONS	A-703.00	TYPICAL DETAILS	P-102.00	PLUMBING AND GAS RISER DIAGRAMS
DM-103.00	DEMO PLAN: 3RD FLOOR	A-606.00	PROPOSED BUILDING SECTION, FACING EAST	A-704.00	WINDOW DETAILS	M-000.00	MECHANICAL DRAWINGS
A-100.00	SITE PLAN			A-705.00	WINDOW DETAILS	M-001.00	MECHANICAL DRAWINGS
				A-706.00	WINDOW DETAILS	M-002.00	MECHANICAL SPEC

EXISTING CONST. CLASSIFICATION:	CLASS 4 - WOOD FRAME ('38 CODE)	EXISTING NUMBER OF STORIES:	3
PROPOSED CONST. CLASSIFICATION:		CODE REFERENCE:	1938
LANDMARK DISTRICT:	YES - PROSPECT LEFFERTS GARDENS	EXISTING BC OCCUPANCY:	R-3
EXISTING ZONE USE GROUP:	2-RESIDENTIAL	PROPOSED BC OCCUPANCY:	R-3 (NO CHANGE)
PROPOSED ZONE USE GROUP:	2-RESIDENTIAL (NO CHANGE)	NO CHANGE IN USE, OCCUPANCY, OR EGRESS	



**PLOT PLAN**

SCALE: 1/64" = 1'-0"

BLOCK: 5038  
LOT: 76  
ZONE: R2  
ZONING MAP: 17B



REVISIONS:

Number	Date
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N-PLUS ARCHITECTURE & DESIGN

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ISSUED FOR LPC REVIEW

OWNER:

MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:

**211 FENIMORE ST**

211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:

**GENERAL NOTES AND PLOT PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:

**G-000.00**

SHEET 1 OF 48

**TENANTS' SAFETY PLAN**

1. GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, ARTICLE 19, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. STRUCTURAL:
  - A. CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
  - B. ALL DEMOLITION OPERATION, REPAIR OPERATIONS, AND ALTERATION OPERATIONS TO BE DONE IN ACCORDANCE WITH NEW YORK CITY BUILDING CODE, ARTICLE 19, SUB-ARTICLES 1905.0 AND 1906.0
4. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
5. FIRE SAFETY:
  - A. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/ OR GENERAL CONTRACTOR.
  - B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
  - C. ALL FLAMMABLE MATERIALS TO BE KEPT AWAY FROM HEAT.
  - D. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
  - E. ALL ELECTRICAL POWER TO BE SHUT-OFF WHERE THERE ARE EXPOSED CONDUITS.
  - F. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
  - G. CONTRACTOR, AT ALL TIMES, TO MAKE SURE THERE ARE NO LEAKS OF NATURAL GAS IN BUILDING, OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.
6. DUST CONTROL:
  - A. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
  - B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREAS BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
  - C. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
7. NOISE AFTER HOURS:
  - A. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 A.M. TO 5 P.M., MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS.
  - B. CONTRACTOR TO OBTAIN THE WRITTEN CONSENT OF ALL PARTIES AFFECTED BY HIS WORKING DURING OTHER THAN REGULAR HOURS.

**NEW YORK STATE ENERGY CONSERVATION CODE**

1. WORK PROPOSED IS COMPLIANT WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AS PER CHAPTER 1 OF THE CODE; IT IS NOT A SUBSTANTIAL ALTERATION PER SECTION 101.4.3. NO EXISTING EXTERIOR WALL, ROOF OR FLOOR CAVITIES WILL BE EXPOSED DURING CONSTRUCTION AND ENERGY USE WILL NOT INCREASE.
2. THE WORK PROPOSED UNDER THIS APPLICATION IS EXEMPT FROM THE NYCECCC, AS LANDMARK STRUCTURE WITHIN NATIONALLY REGISTERED LEFFERTS MANOR HISTORIC DISTRICT REF. # 83004872.

**SMOKE/CO DETECTOR REQUIRED PER 907.2.10/2008**

1. SMOKE/CARBON MONOXIDE DETECTORS OR DEVICES SHALL BE INSTALLED IN ORDINANCE WITH THE HOUSING MAINTENANCE CODE, MULTIPLE DWELLING LAW, THE NEW YORK CITY BUILDING CODE, THE NEW YORK CITY ELECTRICAL CODE AND NFPA 72.
2. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS MAY BE COMBINED PROVIDING THE DEVICES COMPLY WITH THE PROVISIONS OF TITLE 28 OF THE ADMINISTRATIVE CODE OF THE CITY OF NEW YORK AND ANY APPLICABLE RULES PROMULGATED THEREUNDER.
3. EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH REFERENCE STANDARD UL 2034 AND UL 2075 OF THE NEW YORK CITY BUILDING CODE.
4. EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15'-0" OF THE ENTRANCE TO A SLEEPING ROOM; INSIDE EACH SLEEPING ROOM; AND ON EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES AND PENTHOUSES PER 908.7.1.1.1
5. EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE OF A TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE.
6. DUPLEX UNITS SHALL HAVE A DEVICE LOCATED ON EACH LEVEL IF ONLY ONE MEANS OF EGRESS IS PROVIDED FROM EACH LEVEL.
7. CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL.
8. WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" TO A MAXIMUM OF 12" FROM THE CEILING.
9. EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE SMOKE/CARBON MONOXIDE DETECTOR DEVICE RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER NEW YORK CITY BUILDING CODE SEC. 907.2.10.2 THROUGH 907.2.10.4.
10. EXISTING BUILDINGS THAT ARE NOT EQUIPPED WITH HARDWIRED CONNECTIONS SHALL BE SUPPLIED WITH BATTERY OPERATED DEVICES.
11. SUCH SMOKE/CARBON MONOXIDE DETECTOR MUST BE EITHER THE IONIZATION CHAMBER TYPE OR THE PHOTOELECTRIC DETECTOR TYPE AS PER NEW YORK CITY BUILDING CODE SEC. 907 AND 908.
12. A "CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE/CARBON MONOXIDE DETECTORS" MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT H.P.D., 10 DAYS AFTER INSTALLATION.
13. WRITTEN INFORMATION OF TESTING AND MAINTENANCE OF THE DEVICES SHALL BE PROVIDED TO THE DWELLING UNIT OWNER.

**ABBREVIATIONS LIST:**

ACT.	- ACOUSTIC CEILING TILE
ADJ.	- ADJUSTABLE
A.F.F.	- ABOVE FINISH FLOOR
ALT.	- ALTERNATE
ALUM.	- ALUMINUM
B.O.	- BY OTHER
CER.	- CERAMIC
C.H.	- CEILING HEIGHT
CL.	- CLOSET
CLG.	- CEILING
C.M.U.	- CONCRETE MASONRY UNIT
CONC.	- CONCRETE
DIA.	- DIAMETER
D/W	- DISH WASHER
DWG.	- DRAWING
EL.	- ELEVATION
ELEC.	- ELECTRIC
ENG.	- ENGINEER
EQ.	- EQUAL
EQUIP.	- EQUIPMENT
EXIST.	- EXISTING
FIN.	- FINISH
FL.	- FLOOR
FLUOR.	- FLUORESCENT
F.R.S.C.	- FIRE-RATED SELF-CLOSING
GWB.	- GYPSUM WALL BOARD
H.C.	- HANDICAP ACCESSIBLE
H.M.	- HOLLOW METAL
HR.	- HOUR
HT.	- HEIGHT
JAN.	- JANITOR
MTD.	- MOUNTED
MTL.	- METAL
N/A	- NOT APPLICABLE
O.C.	- ON CENTER
PERF.	- PERFORATED
PL. LAM.	- PLASTIC LAMINATE
PTD.	- PAINTED
R.D.	- ROOF DRAIN
SCFP	- SELF CLOSING FIRE PROOF
SIM.	- SIMILAR
S.S.	- STAINLESS STEEL
STL.	- STEEL
T.B.D.	- TO BE DETERMINED
T.O.	- TOP OF
TRANS.	- TRANSLUCENT
TYP.	- TYPICAL
U.O.N.	- UNLESS OTHERWISE NOTED
V.I.F.	- VERIFY IN FIELD
W/	- WITH
WD.	- WOOD
W/D	- WASHER/DRYER
W/R	- WATER RESISTANT

REVISIONS:

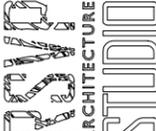
Number	Date

N-PLUS ARCHITECTURE & DESIGN



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ISSUED FOR LPC REVIEW

OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**GENERAL NOTES**

SCALE: **NTS**  
DATE: **7.20.2015**

DWG. #:  
**G-001.00**  
SHEET 2 OF 48

211 FENIMORE



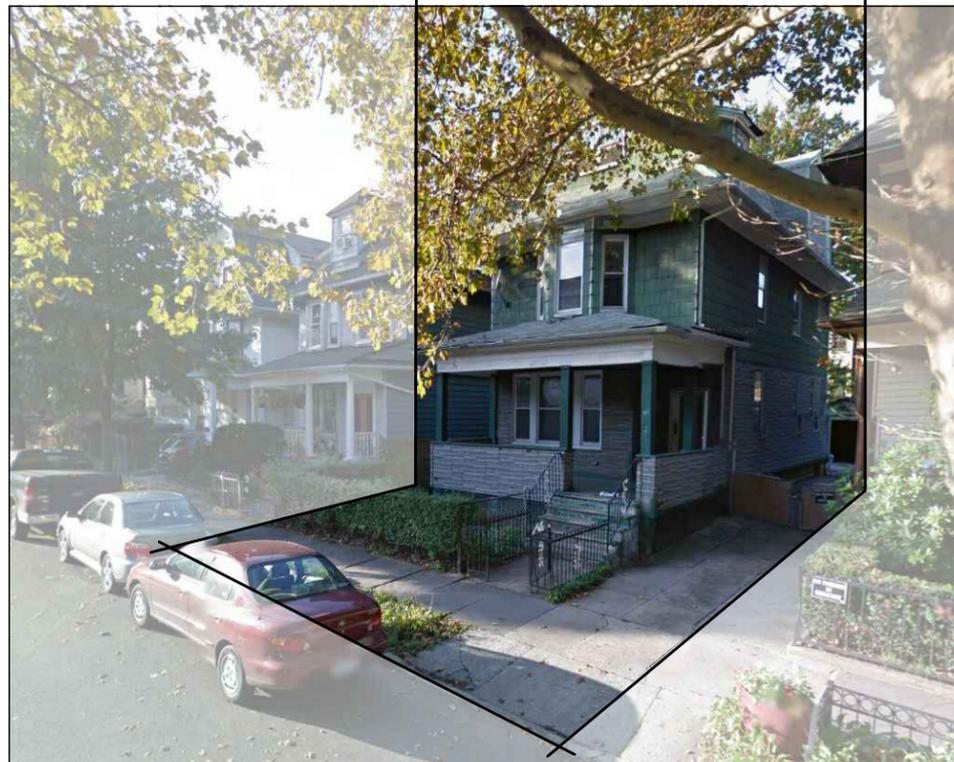
1 STREET VIEW - LOOKING NORTH  
SCALE: NTS

211 FENIMORE



2 STREET VIEW - LOOKING EAST  
SCALE: NTS

211 FENIMORE



3 STREET VIEW - LOOKING WEST  
SCALE: NTS

VIEW OF RUTLAND ROAD, BEHIND  
211 FENIMORE STREET



4 RUTLAND ROAD STREET VIEW - LOOKING SOUTH  
SCALE: NTS

REVISIONS:

Number Date

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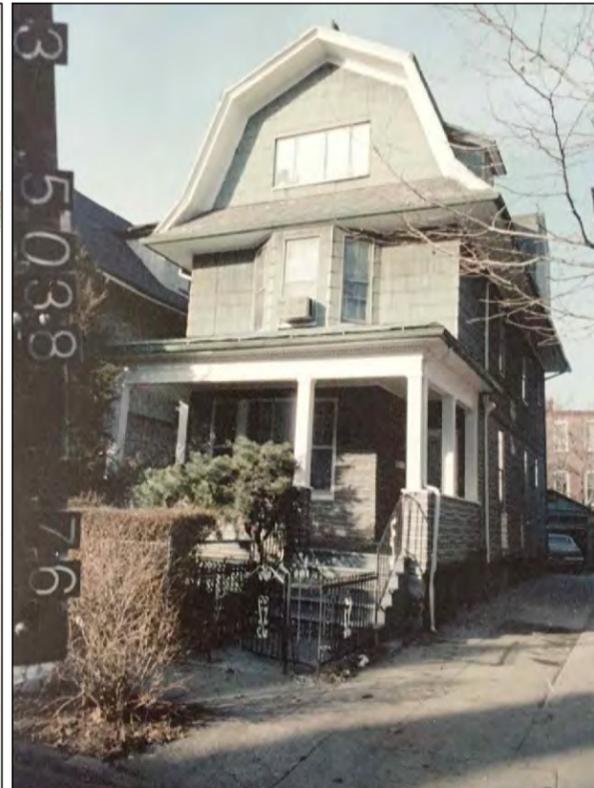
DWG. TITLE:  
**STREET VIEW  
PHOTOGRAPHS**

SCALE: NTS  
DATE: 7.20.2015

DWG. #:  
**G-100.00**  
SHEET 3 OF 48



1 STREET VIEW - 1940s HISTORIC PHOTO  
SCALE: NTS



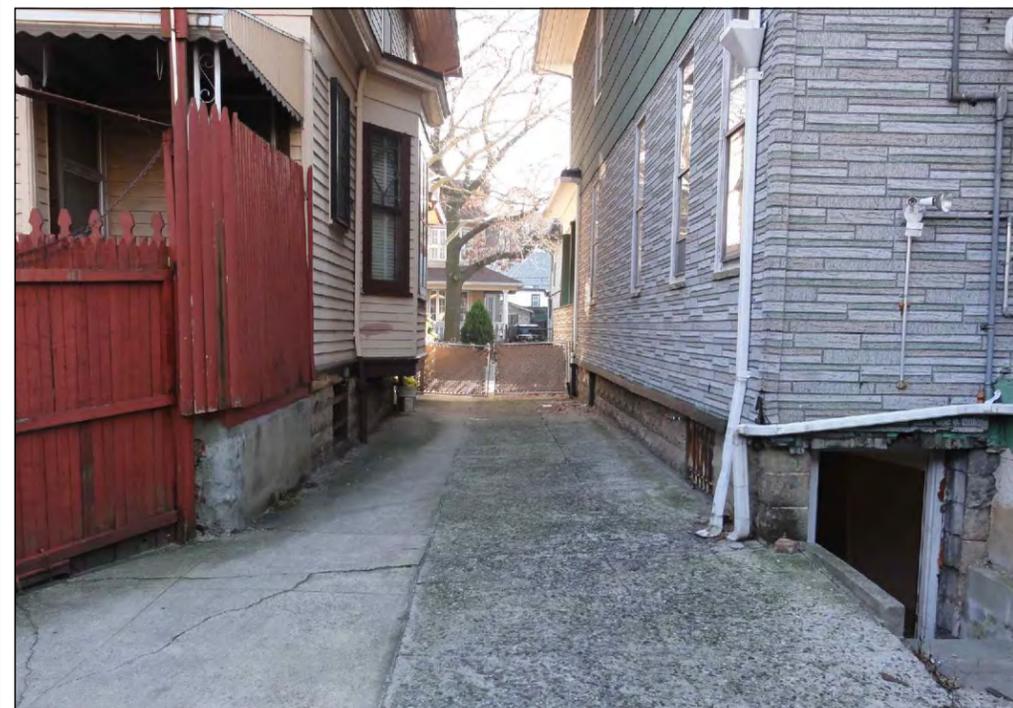
2 STREET VIEW - 1980s HISTORIC PHOTO  
SCALE: NTS



3 EXISTING STREET VIEW  
SCALE: NTS



4 EXISTING REAR VIEW  
SCALE: NTS



5 EXISTING SHARED DRIVEWAY WITH 215 FENIMORE  
SCALE: NTS



6 EXTERIOR CONDITIONS  
SCALE: NTS  
CEDAR SHINGLES FOUND  
BEHIND ASPHALT SIDING



7 EXTERIOR CONDITIONS  
SCALE: NTS  
DETERIORATED CONDITIONS OF  
EXISTING SHINGLES BEHIND  
ASPHALT LAYER

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BROOKLYN, NY 11225

DWG. TITLE:  
**HISTORIC AND  
PRESENT CONDITION  
PHOTOGRAPHS**

SCALE: NTS  
DATE: 7.20.2015

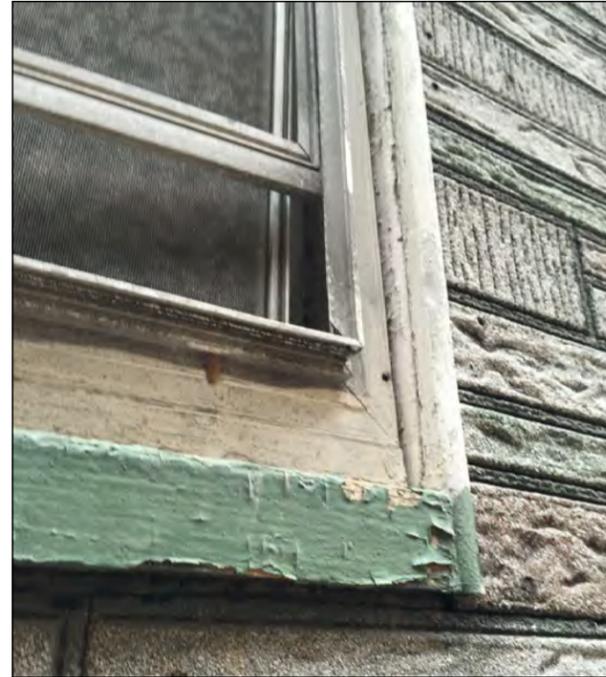
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**G-101.00**  
SHEET 4 OF 48



1 DOOR CASING BEHIND ASPHALT SHINGLES  
SCALE: NTS



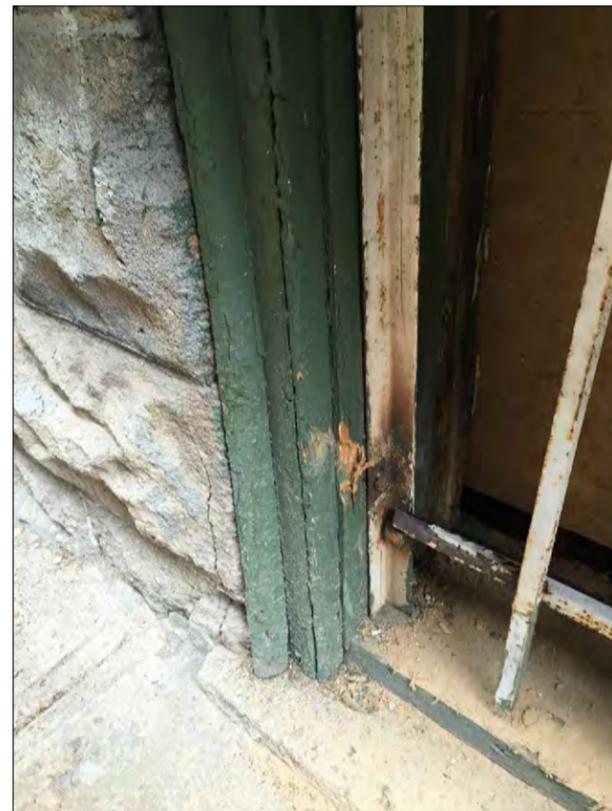
2 DOOR CASING BEHIND ASPHALT SHINGLES  
SCALE: NTS



3 EXISTING WINDOW TRIM  
SCALE: NTS



4 WINDOW CASING BEHIND ASPHALT SHINGLES  
SCALE: NTS



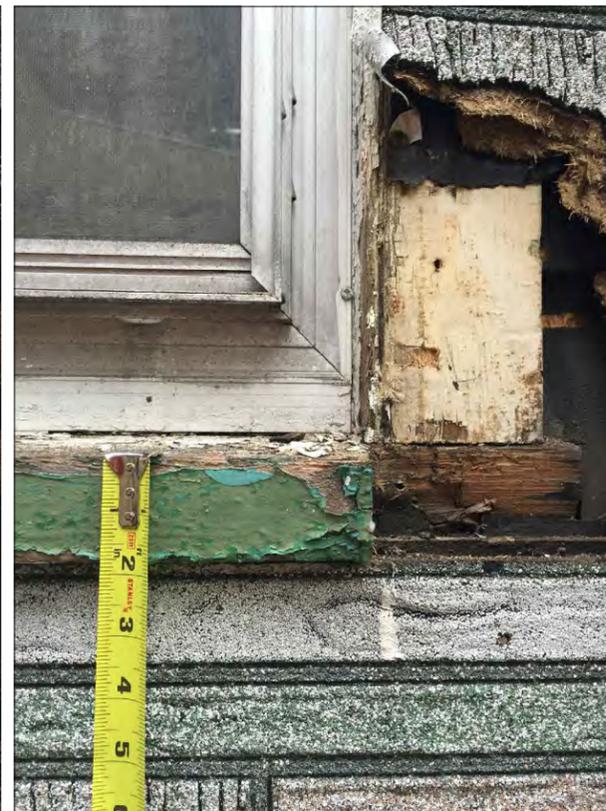
5 CELLAR WINDOW DETAILS  
SCALE: NTS



6 TYPICAL WINDOW DEPTH FROM WINDOW SCREEN  
SCALE: NTS



7 WINDOW CASING BEHIND ASPHALT SHINGLES  
SCALE: NTS



8 WINDOW CASING BEHIND ASPHALT SHINGLES  
SCALE: NTS

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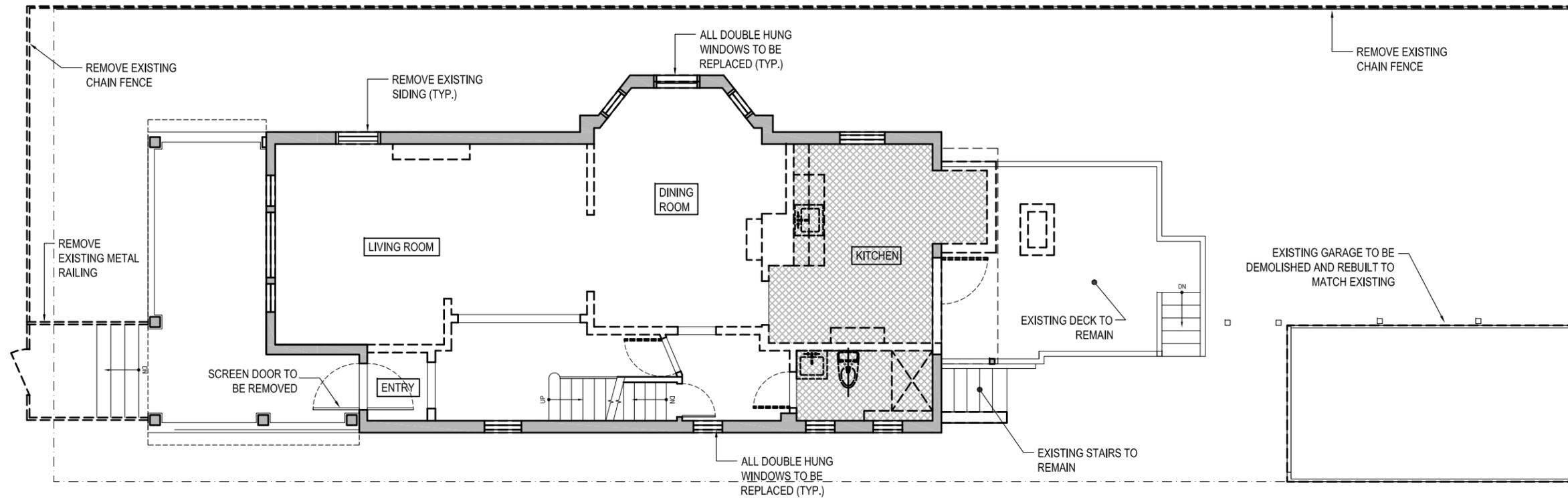
DWG. TITLE:  
**PRESENT CONDITION  
PHOTOGRAPHS**

SCALE: NTS

DATE: 7.20.2015

DWG. #:

**G-102.00**  
SHEET 5 OF 48



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING PARTITION, DOOR, FIXTURE, ETC. TO BE DEMOLISHED AS NOTED
	EXISTING SLAB OR FLOORING TO BE REMOVED AS NOTED

- DEMOLITION NOTES**
- DUST AND DEBRIS WILL BE CONTAINED WITHIN THE AFFECTED AREAS. ALL EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT PROPERTIES.
  - G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING- AS REQUIRED
  - ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE INCLUDED.
  - PRIOR TO PLUMBING REMOVALS, G.C. TO INSTALL NEW FLOOR SHUT-OFF VALVE.
  - G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION AND CONSTRUCTION DEBRIS. NO DEBRIS WILL BE STORED ON PREMISES.
  - ALL MATERAILS INDICATED AS 'SALVAGE' ON DEMO PLAN WILL BE REMOVED WITH CARE AND STORED PER THE OWNER'S DIRECTION ON PREMISES.
  - UNLESS OTHERWISE NOTED EXISTING TRIM TO REMAIN. EXISTING TRIM AT DEMO'D WALLS TO BE SALVAGED FOR REUSE.

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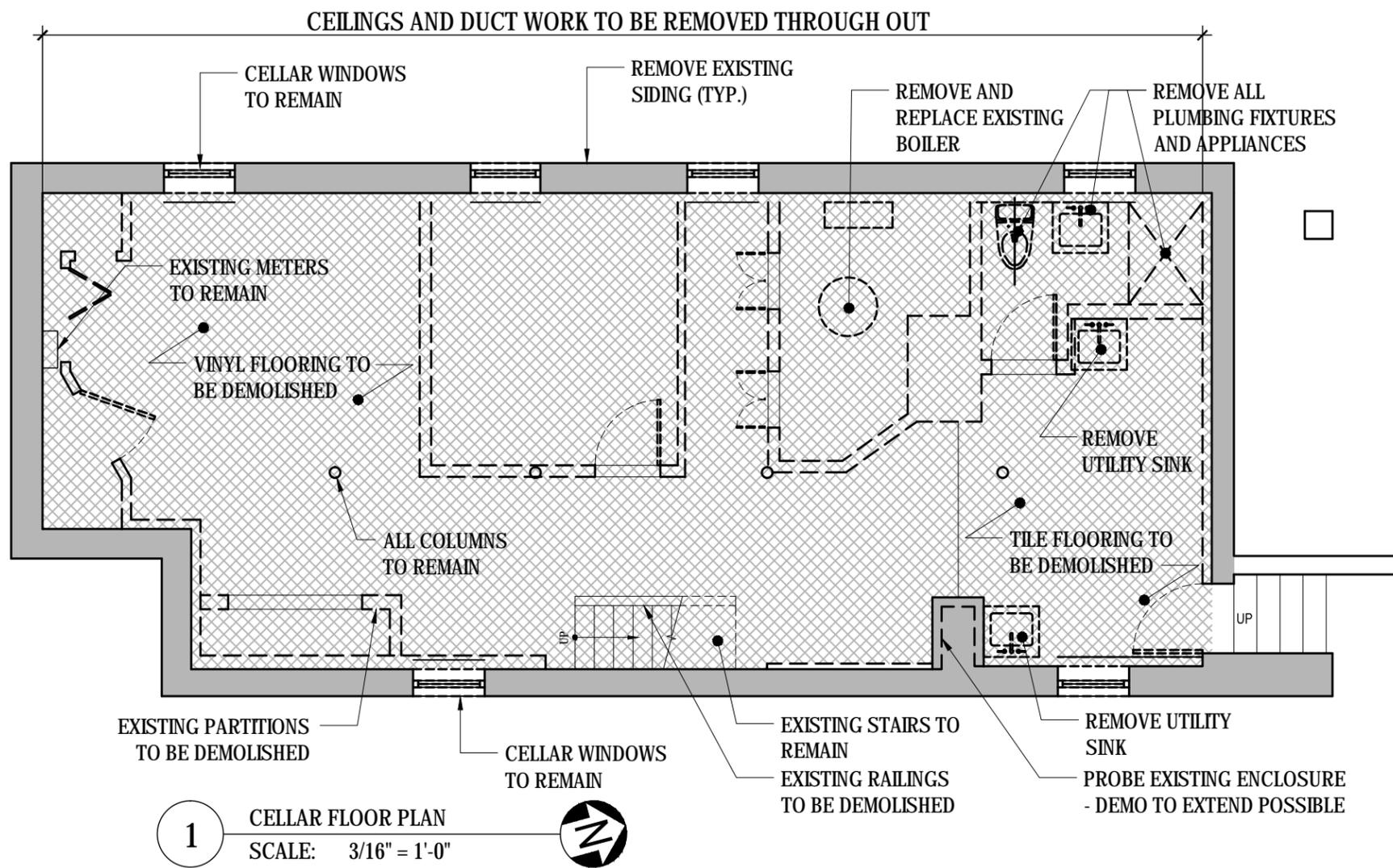
PROJECT LOCATION:  
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DWG. TITLE:  
**SITE REMOVAL PLAN**

SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

DWG. #:  
**DM-000.00**  
SHEET 6 OF 48



DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING PARTITION, DOOR, FIXTURE, ETC. TO BE DEMOLISHED AS NOTED
	EXISTING SLAB OR FLOORING TO BE REMOVED AS NOTED

- DEMOLITION NOTES**
1. DUST AND DEBRIS WILL BE CONTAINED WITHIN THE AFFECTED AREAS. ALL EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT PROPERTIES.
  2. G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING- AS REQUIRED
  3. ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE INCLUDED.
  4. PRIOR TO PLUMBING REMOVALS, G.C. TO INSTALL NEW FLOOR SHUT-OFF VALVE.
  5. G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION AND CONSTRUCTION DEBRIS. NO DEBRIS WILL BE STORED ON PREMISES.
  6. ALL MATERAILS INDICATED AS 'SALVAGE' ON DEMO PLAN WILL BE REMOVED WITH CARE AND STORED PER THE OWNERS DIRECTION ON PREMISES.
  7. UNLESS OTHERWISE NOTED EXISTING TRIM TO REMAIN. EXISTING TRIM AT DEMO'D WALLS TO BE SALVAGED FOR REUSE.

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
TEL: 718-858-4018  
FAX: 718-858-7091  
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RSVP ARCHITECTURE STUDIO PLLC

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BROOKLYN, NY 11201  
TEL: 718-625-1948  
FAX: 718-858-7091  
INFO@RSVP-STUDIO.COM

ISSUED FOR LPC REVIEW

OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

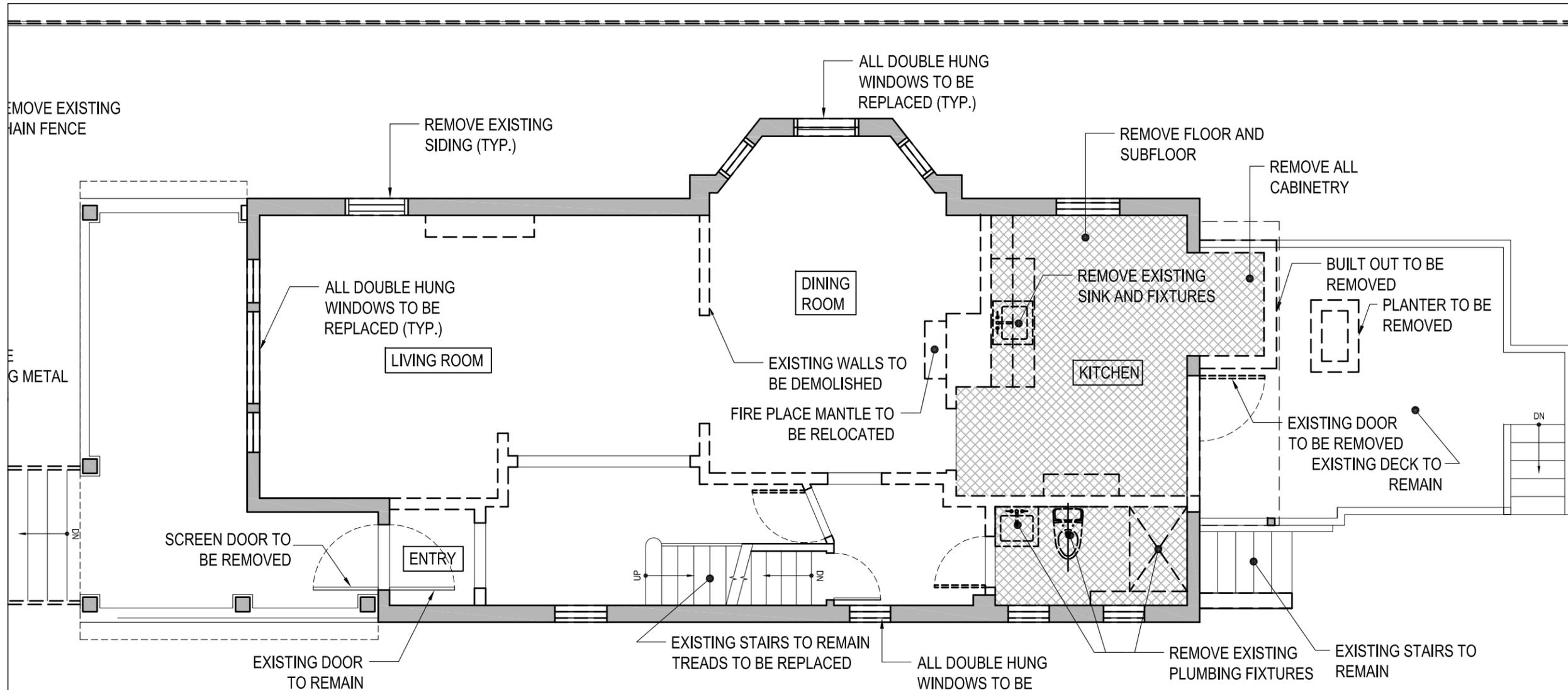
PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**CELLAR DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:  
**DM-100.00**  
SHEET 7 OF 48



1 FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING PARTITION, DOOR, FIXTURE, ETC. TO BE DEMOLISHED AS NOTED
	EXISTING SLAB OR FLOORING TO BE REMOVED AS NOTED

- DEMOLITION NOTES**
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REVISIONS:

Number	Date

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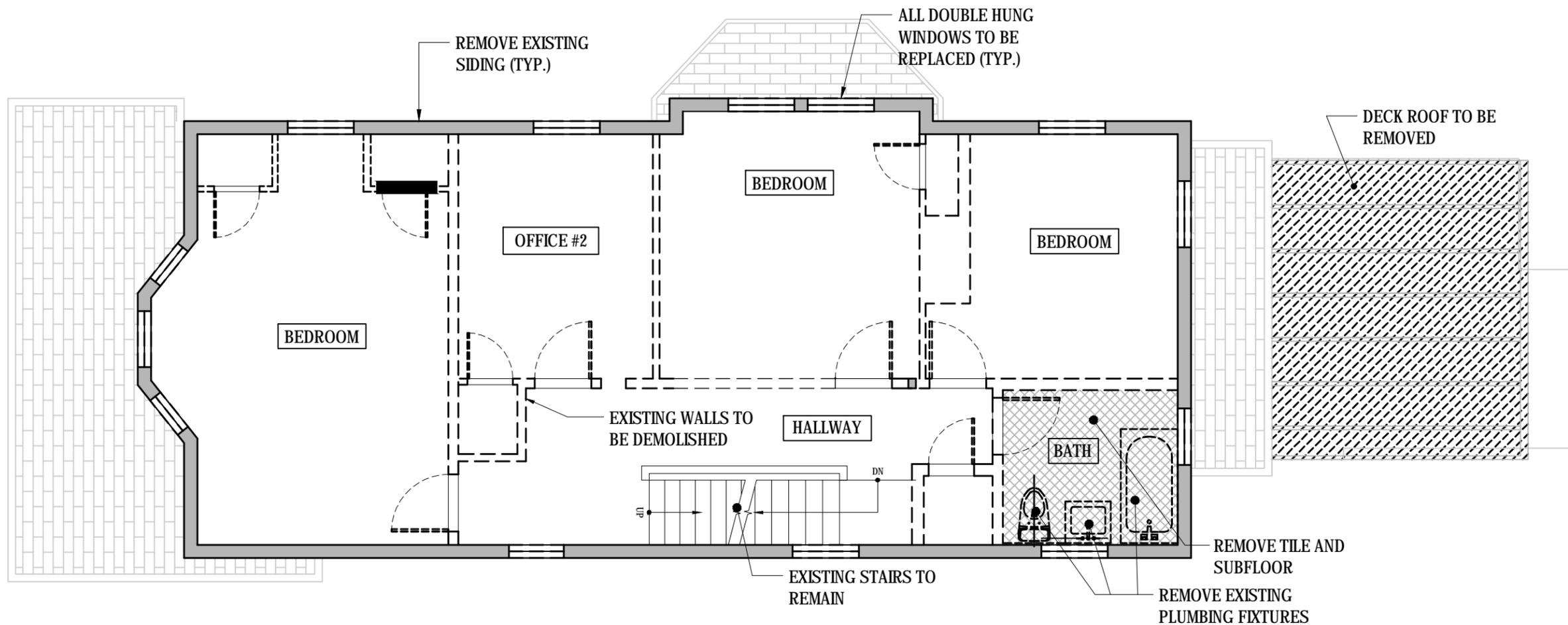
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 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**1ST FLOOR  
 DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"  
 DATE: 7.20.2015

DWG. #:  
**DM-101.00**  
 SHEET 8 OF 48



**1** SECOND FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING PARTITION, DOOR, FIXTURE, ETC. TO BE DEMOLISHED AS NOTED
	EXISTING SLAB OR FLOORING TO BE REMOVED AS NOTED

**DEMOLITION NOTES**

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7. UNLESS OTHERWISE NOTED EXISTING TRIM TO REMAIN. EXISTING TRIM AT DEMO'D WALLS TO BE SALVAGED FOR REUSE.

REVISIONS:

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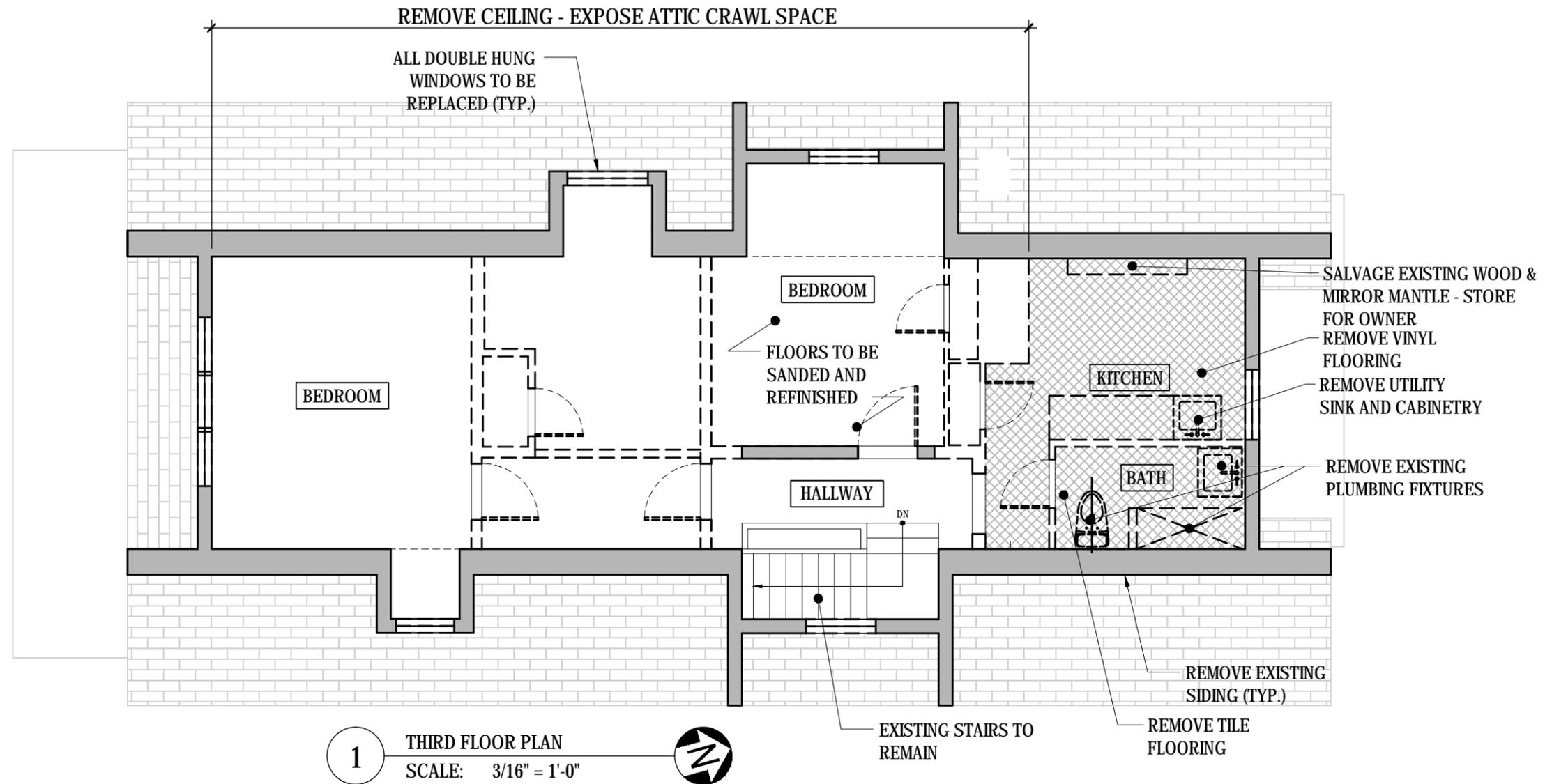
PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**2ND FLOOR  
 DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:  
**DM-102.00**  
 SHEET 9 OF 48



**1** THIRD FLOOR PLAN  
SCALE: 3/16" = 1'-0"

DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING PARTITION, DOOR, FIXTURE, ETC. TO BE DEMOLISHED AS NOTED
	EXISTING SLAB OR FLOORING TO BE REMOVED AS NOTED

- DEMOLITION NOTES**
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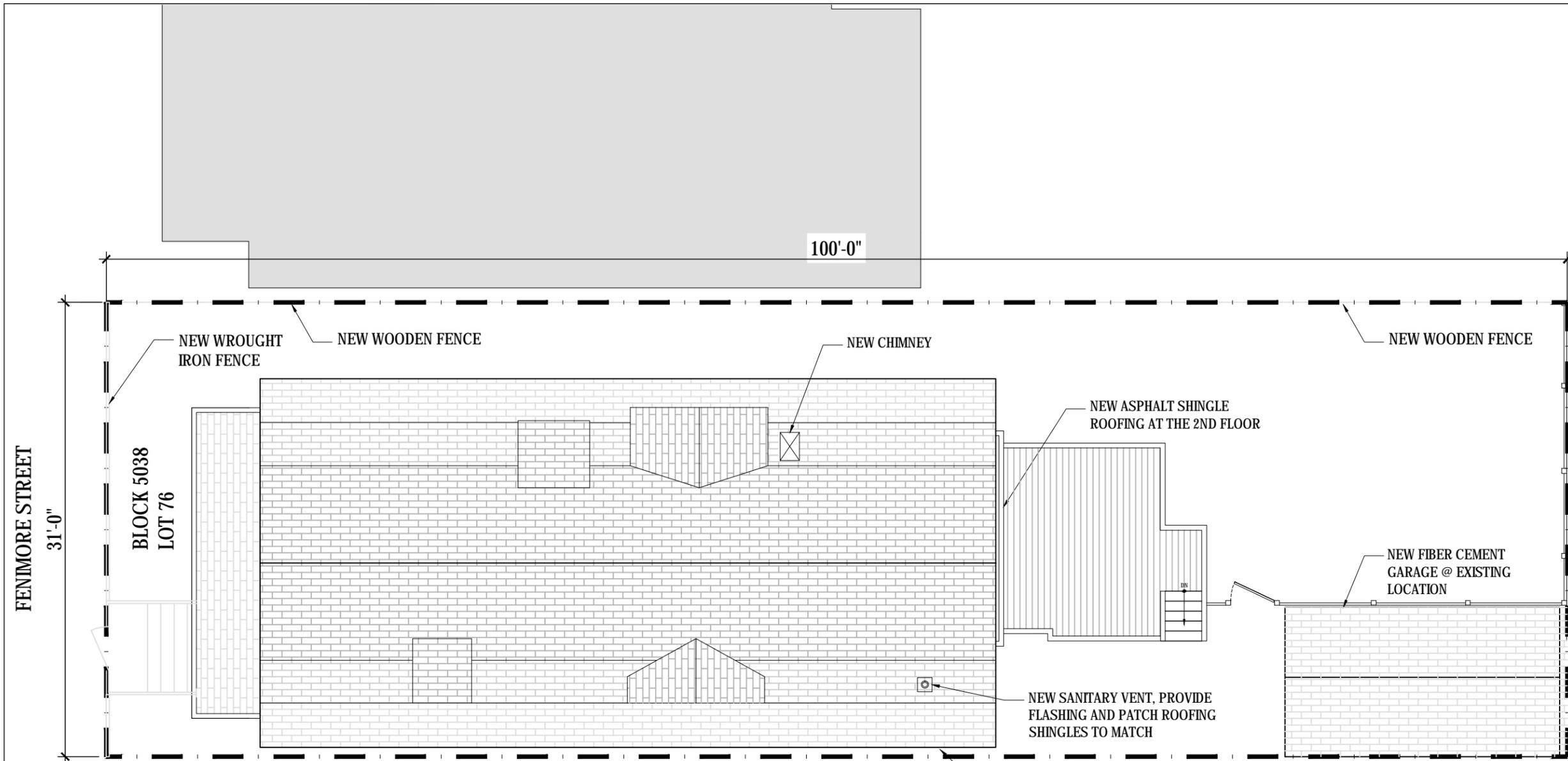
PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**3RD FLOOR  
DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:  
**DM-103.00**  
SHEET 10 OF 48



**1** SITE PLAN  
 SCALE: 1/8" = 1'-0"

LEGEND	
	TRAVEL DISTANCE
	EXISTING WALL
	INTERIOR WALL NEW CONSTRUCTION
	2-HR RATED PARTITION
	CARBON MONOXIDE/SMOKE ALARM
	MECHANICAL EXHAUST
	WINDOW TYPE (SEE SCHEDULE)
	PARTITION TYPE (SEE A-700)*
*RATING TO SURROUND ENTIRE SHAFT AT ALL MECHANICAL SHAFTS AND BOILER ROOMS.	

REVISIONS:

Number	Date
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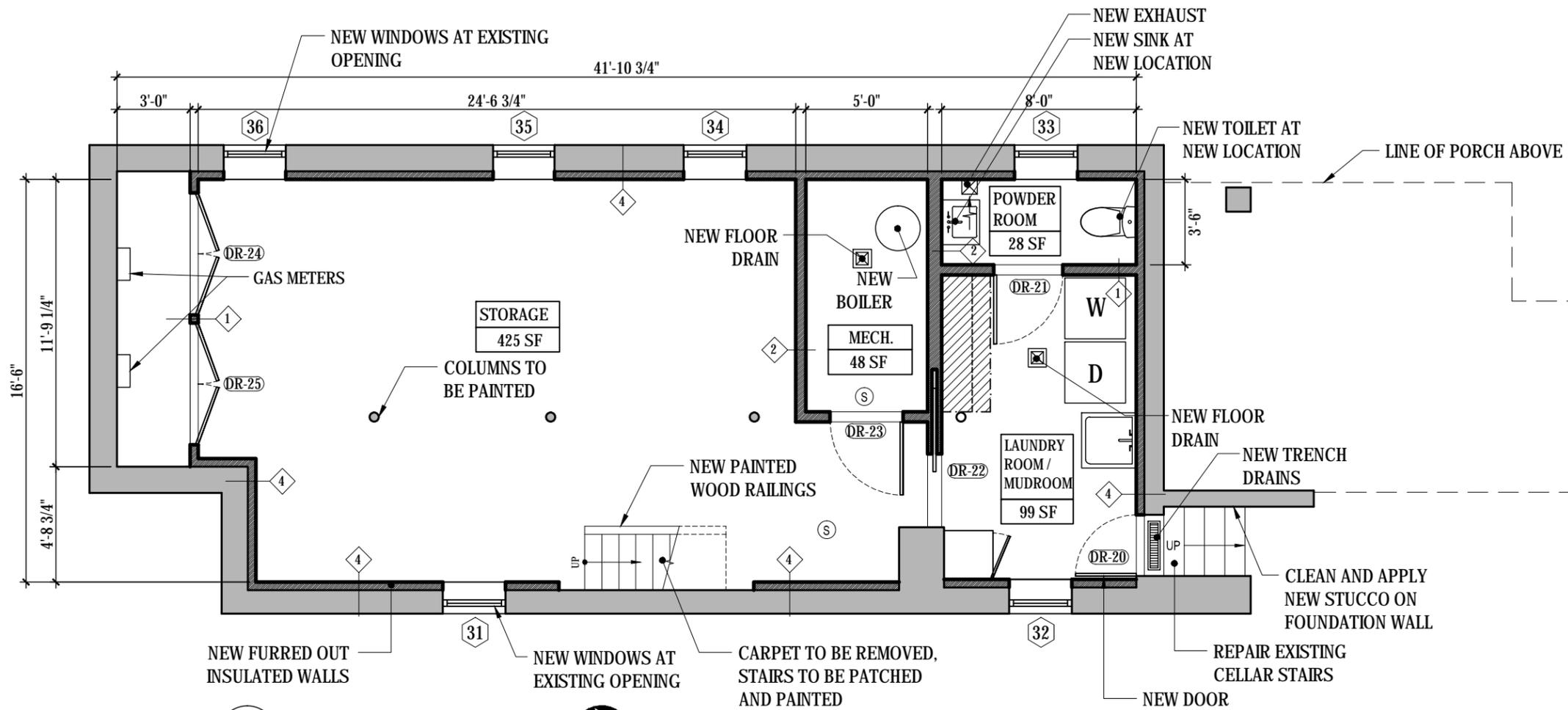
OWNER:  
 MICHELLE ADAMS & LAURA NELSON  
 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

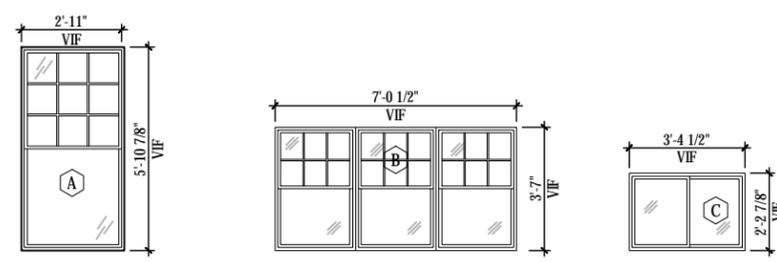
DWG. TITLE:  
**SITE PLAN**

SCALE: 1/8" = 1'-0"  
 DATE: 7.20.2015

DWG. #:  
**A-100.00**  
 SHEET 11 OF 48



**1** CELLAR FLOOR PLAN  
SCALE: 3/16" = 1'-0"



**2** EXISTING WINDOWS - LIGHT AND AIR CALCULATIONS  
SCALE: 3/16" = 1'-0"

TAG	TYPE	DIMENSION HxW	SQ FEET
31	C	2'-7" X 1'-2"	3.013
32	C	2'-7" X 1'-2"	3.013
33	C	2'-7" X 1'-2"	3.013
34	C	2'-7" X 1'-2"	3.013
35	C	2'-7" X 1'-2"	3.013
36	C	2'-7" X 1'-2"	3.013

ROOM TYPE	SQUARE FEET	REQD LIGHT (10% AREA)	WINDOWS FOR LIGHT	PROPOSED LIGHT	REQD VENT. (5% OF AREA)	WINDOWS FOR VENTILATION	PROPOSED VENT.	COMPLIANCE
STORAGE	425	42.5	31.34-36	12.052	21.25	31.34-36	6.026	YES
LAUNDRY	99	9	32	3.013	4.5	32	1.5	YES
POWDER ROOM	28	2.8	33	3.013	1.4	33	1.5	YES

LEGEND	
	TRAVEL DISTANCE
	EXISTING WALL
	INTERIOR WALL NEW CONSTRUCTION
	2-HR RATED PARTITION
	CARBON MONOXIDE/SMOKE ALARM
	MECHANICAL EXHAUST
	WINDOW TYPE (SEE SCHEDULE)
	PARTITION TYPE (SEE A-700)*

\*RATING TO SURROUND ENTIRE SHAFT AT ALL MECHANICAL SHAFTS AND BOILER ROOMS.

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

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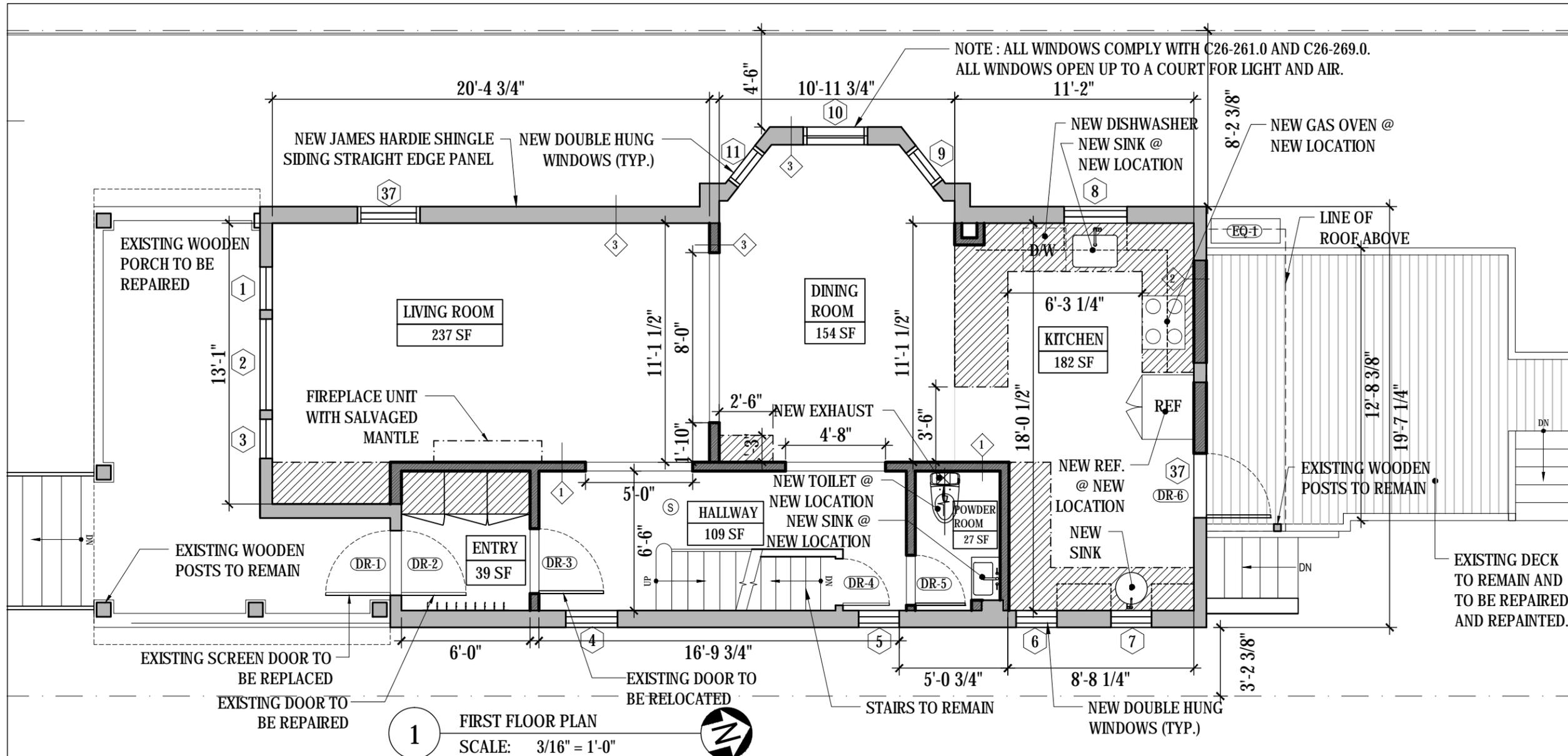
OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

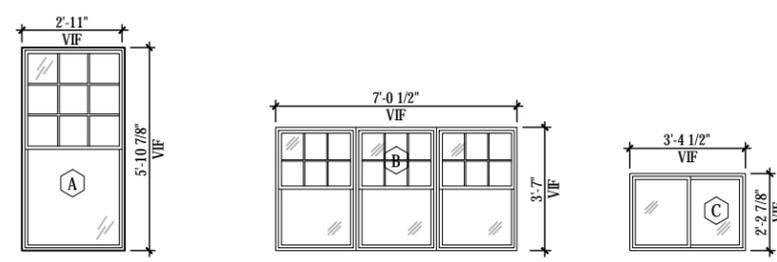
DWG. TITLE:  
**CELLAR FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
DATE: 7.20.2015

DWG. #:  
**A-200.00**  
SHEET 12 OF 48



**1** FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"



**2** EXISTING WINDOWS - LIGHT AND AIR CALCULATIONS  
SCALE: 3/16" = 1'-0"

GLAZED OPENINGS SCHEDULE			
TAG	TYPE	DIMENSION HxW	SQ FEET
1	A	1'-11" x 5'-10 7/8" V.I.F.	11.3
2	A	3'-11" x 5'-10 7/8" V.I.F.	23.1
3	A	1'-11" x 5'-10 7/8" V.I.F.	11.3
4	A	2'-5 1/2" x 5'-10 3/8" V.I.F.	14.5
5	A	1'-10 1/2" x 5'-10 3/8" V.I.F.	11.1
6	A	1'-10 1/2" x 5'-10 3/8" V.I.F.	11.1
7	A	1'-10 1/2" x 5'-10 3/8" V.I.F.	11.1
8	A	2'-5 1/2" x 5'-10 3/8" V.I.F.	14.4
9	A	2'-1/4" x 5'-5 3/8" V.I.F.	11.0
10	A	3'-0" x 5'-5 3/8" V.I.F.	17.7
11	A	2'-1/4" x 5'-5 3/8" V.I.F.	11.9
37	A	2'-11" x 5'-10 7/8" V.I.F.	17.2

LIGHT & AIR CALCULATIONS BASEMENT FLOOR								
ROOM TYPE	SQUARE FEET	REQD LIGHT (10% AREA)	WINDOWS FOR LIGHT	PROPOSED LIGHT	REQD VENT. (5% OF AREA)	WINDOWS FOR VENTILATION	PROPOSED VENT.	COMPLIANCE
LIVING ROOM	237	23.7	1,2,3	62.9	11.85	1,2,3,37	31.45	YES
DINING ROOM	154	15.4	9,10,11	41.5	7.7	9,10,11	20.75	YES
KITCHEN	182	18.2	6,7,8,37	50.2	9.1	6,7,8	25.1	YES
HALLWAY	109	10.9	4,5	25.6	5.45	4,5	12.8	YES
POWDER ROOM	27	NONE	NONE	NONE	NONE	NONE	50 CFM	YES

LEGEND	
	TRAVEL DISTANCE
	EXISTING WALL
	INTERIOR WALL NEW CONSTRUCTION
	2-HR RATED PARTITION
	CARBON MONOXIDE/SMOKE ALARM
	MECHANICAL EXHAUST
	WINDOW TYPE (SEE SCHEDULE)
	PARTITION TYPE (SEE A-700)*

\*RATING TO SURROUND ENTIRE SHAFT AT ALL MECHANICAL SHAFTS AND BOILER ROOMS.

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	
68 JAY STREET UNIT NO. 306 BROOKLYN, NY 11201 TEL: 718-858-4018 FAX: 718-858-7091 INFO@N-PLUS.US	
RSVP ARCHITECTURE STUDIO PLLC	
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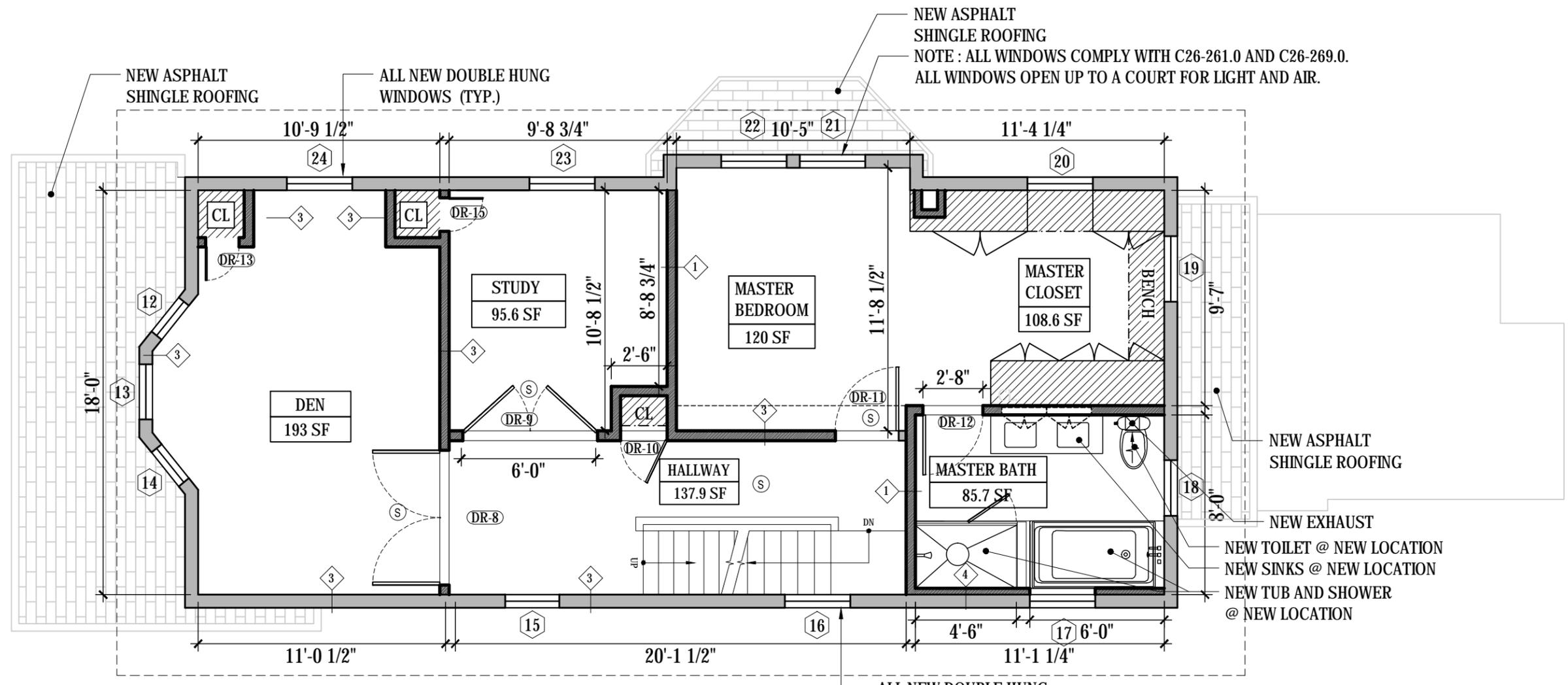
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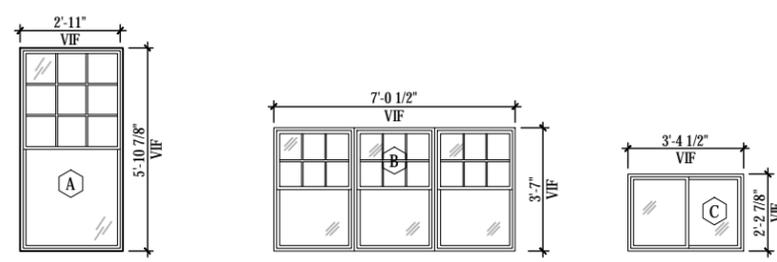
PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**FIRST FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
DATE: 7.20.2015  
DWG. #:  
**A-201.00**  
SHEET 13 OF 48



**1** SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"



**2** EXISTING WINDOWS - LIGHT AND AIR CALCULATIONS  
SCALE: 3/16" = 1'-0"

GLAZED OPENINGS SCHEDULE			
TAG	TYPE	DIMENSION HxW	SQ FEET
12	A	1'-11 1/4" x 5'-5 3/8"	10.6
13	A	2'-5 1/2" x 5'-5 3/8"	13.4
14	A	1'-11 1/4" x 5'-5 3/8"	10.6
15	A	2'-5 1/2" x 5'-5 3/8"	13.4
16	A	2'-11" x 3'-4"	9.7
17	A	2'-11" x 4'-2"	12.2
18	A	2'-5 1/4" x 4'-8 7/8"	11.5
19	A	2'-11" x 5'-5 7/8"	16.0
20	A	2'-11" x 5'-5 7/8"	16.0
21	A	2'-11" x 4'-11"	14.3
22	A	2'-11" x 4'-11"	14.3
23	A	2'-11" x 4'-11"	14.3
24	A	2'-11" x 4'-11"	14.3

LIGHT & AIR CALCULATIONS BASEMENT FLOOR								
ROOM TYPE	SQUARE FEET	REQ'D LIGHT (10% AREA)	WINDOWS FOR LIGHT	PROPOSED LIGHT	REQ'D VENT. (6% OF AREA)	WINDOWS FOR VENTILATION	PROPOSED VENT.	COMPLIANCE
LIBRARY/ OFFICE #1	193	19.3	12,13,14,24	48.9	11.85	12,13,14,24	24.45	YES
OFFICE #2	95.6	9.6	23	14.3	4.8	23	7.15	YES
MASTER BEDROOM	120	12	21,22	28.6	6	21,22	14.3	YES
MASTER CLOSET	108.6	10.9	19,20	36	5.45	19,20	18	YES
MASTER BATHROOM	85.7	8.6	17,18	23.7	4.3	17,18	11.85	YES
HALLWAY	137.9	13.8	15,16	23.1	6.9	15,16	11.55	YES

LEGEND	
	TRAVEL DISTANCE
	EXISTING WALL
	INTERIOR WALL NEW CONSTRUCTION
	2-HR RATED PARTITION
	CARBON MONOXIDE/SMOKE ALARM
	MECHANICAL EXHAUST
	WINDOW TYPE (SEE SCHEDULE)
	PARTITION TYPE (SEE A-700)*

\*RATING TO SURROUND ENTIRE SHAFT AT ALL MECHANICAL SHAFTS AND BOILER ROOMS.

REVISIONS:

Number Date

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PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**SECOND FLOOR PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-202.00**  
SHEET 14 OF 48

REVISIONS:

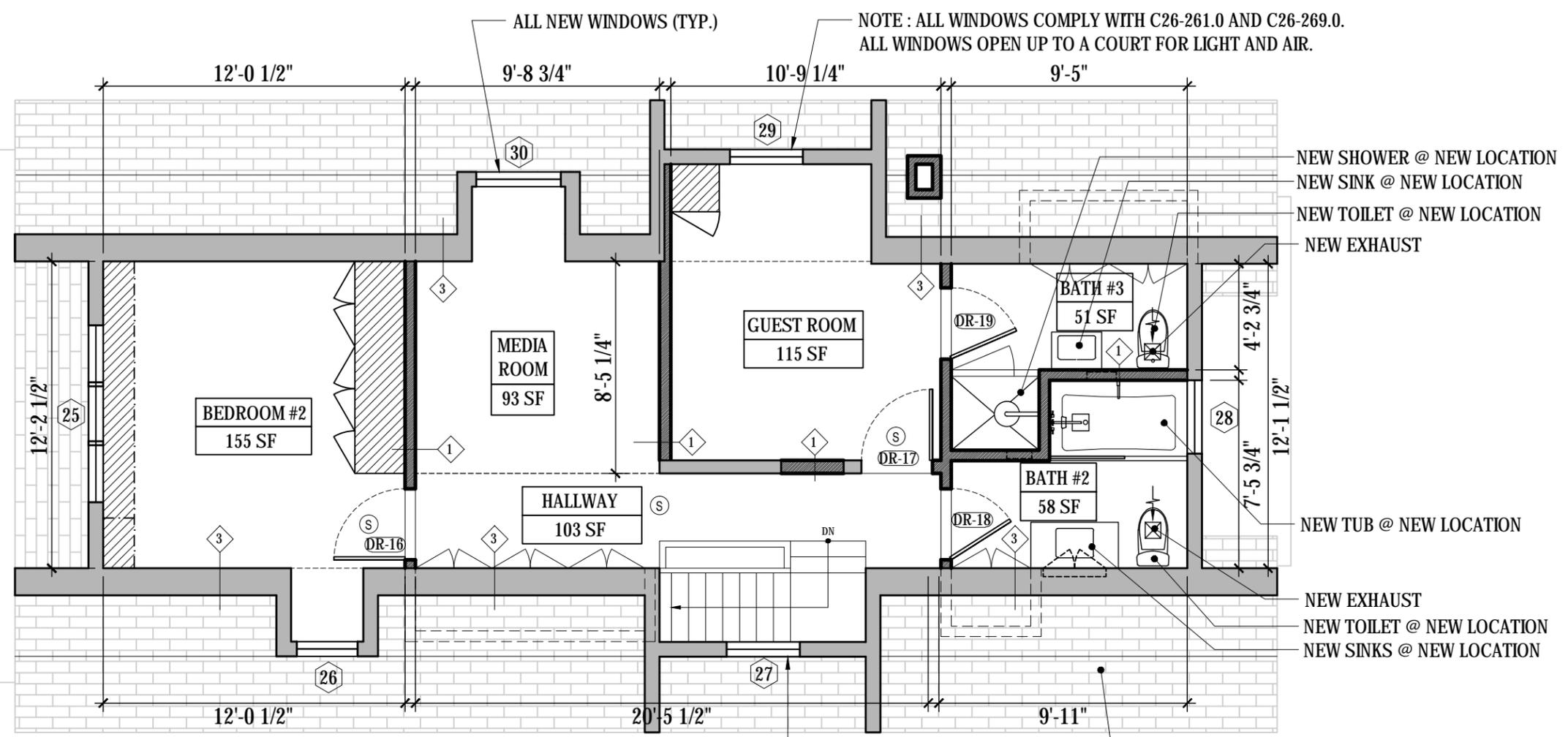
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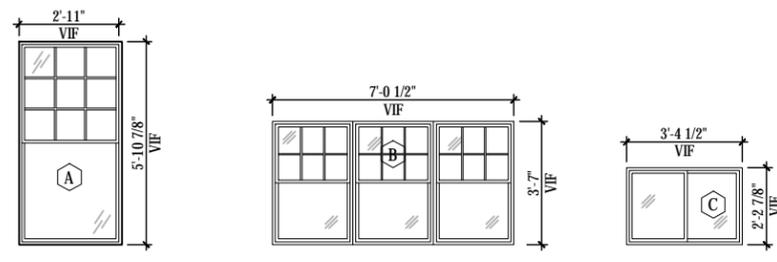
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**1** THIRD FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



**2** EXISTING WINDOWS - LIGHT AND AIR CALCULATIONS  
 SCALE: 3/16" = 1'-0"

TAG	TYPE	DIMENSION HxW	SQ FEET
25	A	7'-0 1/2" x 3'-7"	25.2
26	A	2'-5" x 3'-10 1/2"	9.4
27	A	2'-11" x 3'-11 1/2"	11.5
28	A	2'-11" x 3'-11 1/2"	11.5
29	A	2'-11" x 3'-11 1/2"	11.5
30	B	2'-7" x 1'-2"	3

LIGHT & AIR CALCULATIONS BASEMENT FLOOR								
ROOM TYPE	SQUARE FEET	REQ'D LIGHT (10% OF AREA)	WINDOWS FOR LIGHT	PROPOSED LIGHT	REQ'D VENT. (5% OF AREA)	WINDOWS FOR VENTILATION	PROPOSED VENT.	COMPLIANCE
BEDROOM #2	155	15.5	25,26	34.6	7.75	25,26	17.3	YES
MEDIA ROOM/ HALLWAY	93	N/A	30	3	N/A	30	1.5	YES
GUEST BEDROOM	115	11.5	29	11.5	5.75	29	5.75	YES
BATHROOM #2	58	5.8	28	11.5	2.9	28	5.75	YES
BATHROOM #3	51	5.1	N/A	N/A	N/A	N/A	50 CFM	YES
HALLWAY	103	10.3	27	11.5	5.15	27	5.75	YES

LEGEND	
	TRAVEL DISTANCE
	EXISTING WALL
	INTERIOR WALL NEW CONSTRUCTION
	2-HR RATED PARTITION
	CARBON MONOXIDE/SMOKE ALARM
	MECHANICAL EXHAUST
	WINDOW TYPE (SEE SCHEDULE)
	PARTITION TYPE (SEE A-700)*
*RATING TO SURROUND ENTIRE SHAFT AT ALL MECHANICAL SHAFTS AND BOILER ROOMS.	

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 MICHELLE ADAMS & LAURA NELSON  
 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**THIRD FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
 DATE: 7.20.2015

DWG. #:  
**A-203.00**  
 SHEET 15 OF 48

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	

**N-PLUS ARCHITECTURE & DESIGN**  
 68 JAY STREET  
 UNIT NO. 306  
 BROOKLYN, NY 11201  
 TEL: 718-858-4018  
 FAX: 718-858-7091  
 INFO@N-PLUS.US

**RSVP ARCHITECTURE STUDIO PLLC**  
 68 JAY STREET  
 UNIT NO. 306  
 BROOKLYN, NY 11201  
 TEL: 718-625-1948  
 FAX: 718-858-7091  
 INFO@RSVP-STUDIO.COM

ISSUED FOR LPC REVIEW

OWNER:  
 MICHELLE ADAMS & LAURA NELSON  
 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**FRONT ELEVATIONS**

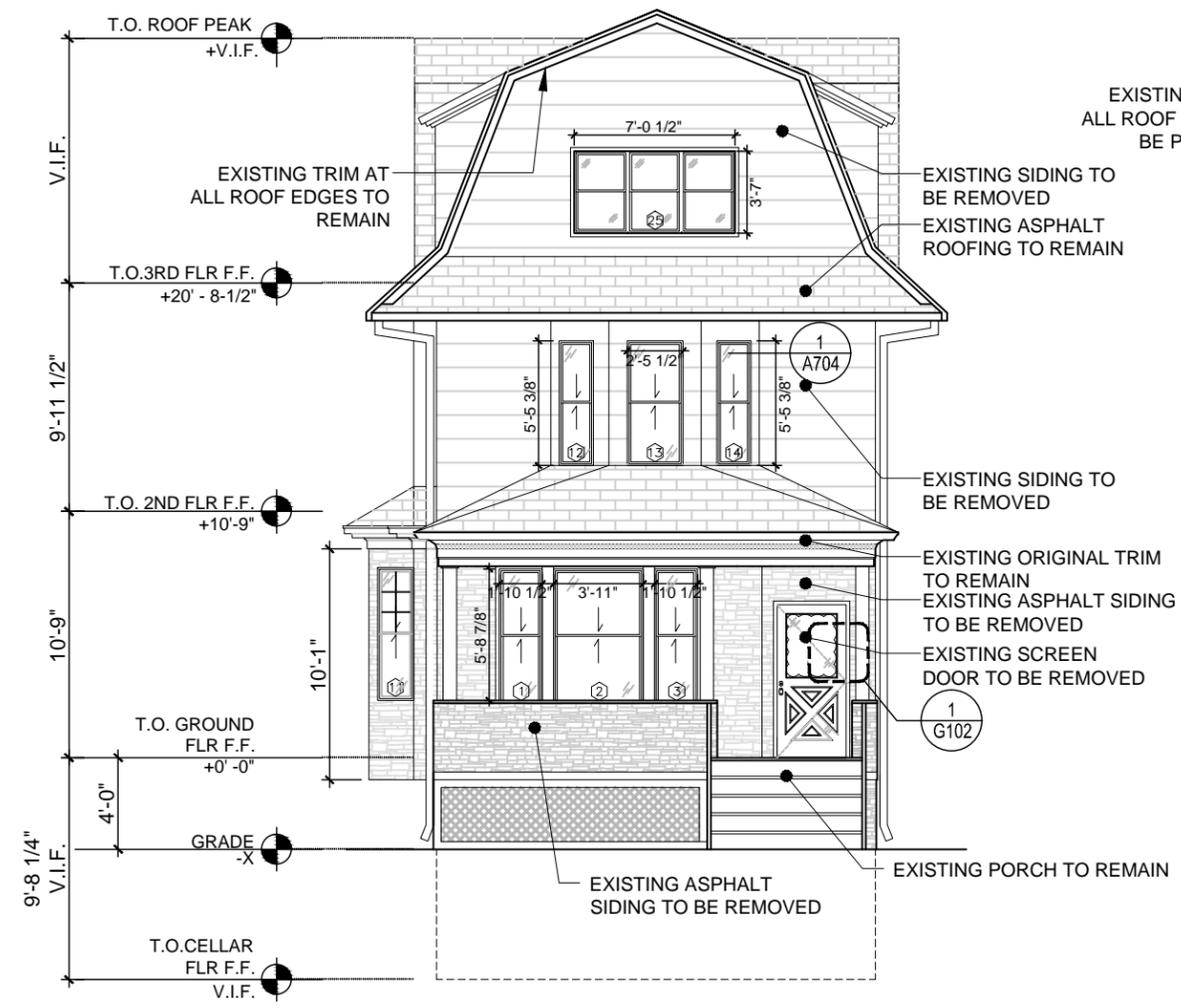
SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

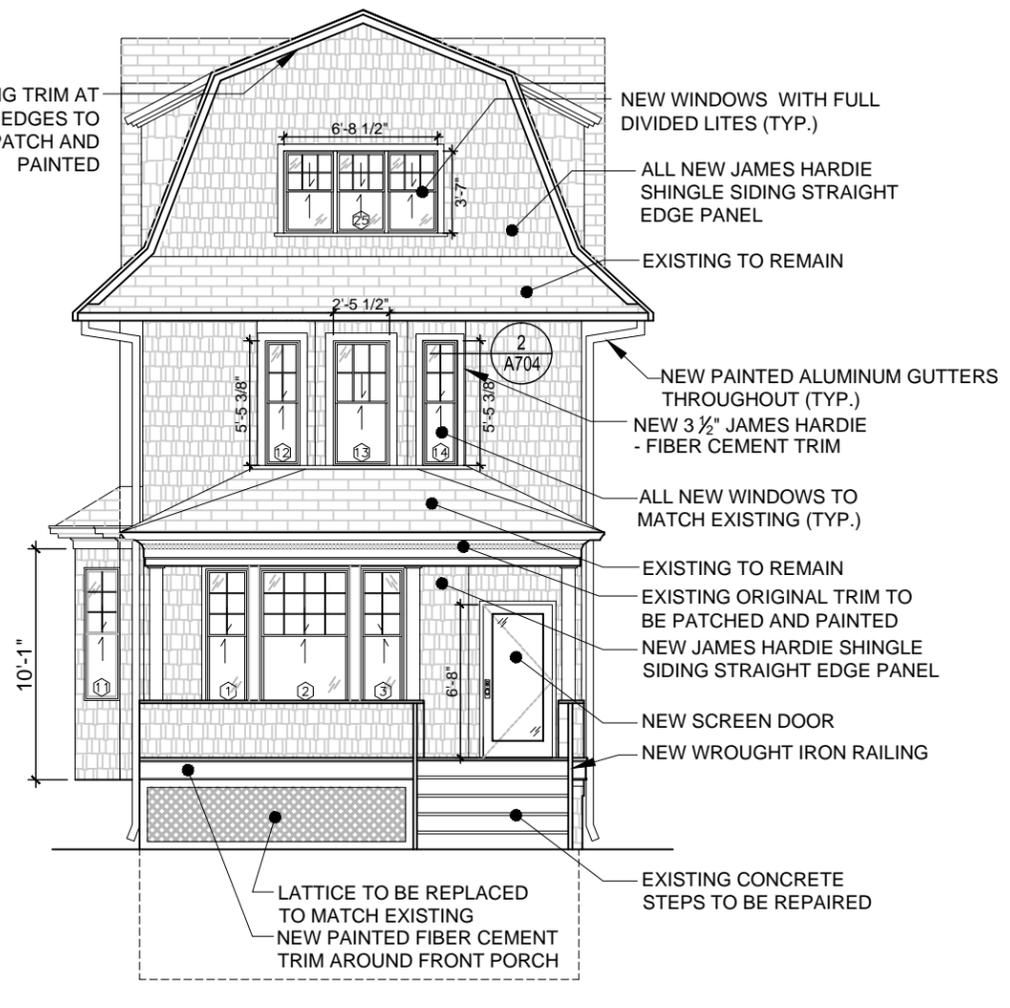
DWG. #:

**A-600.00**

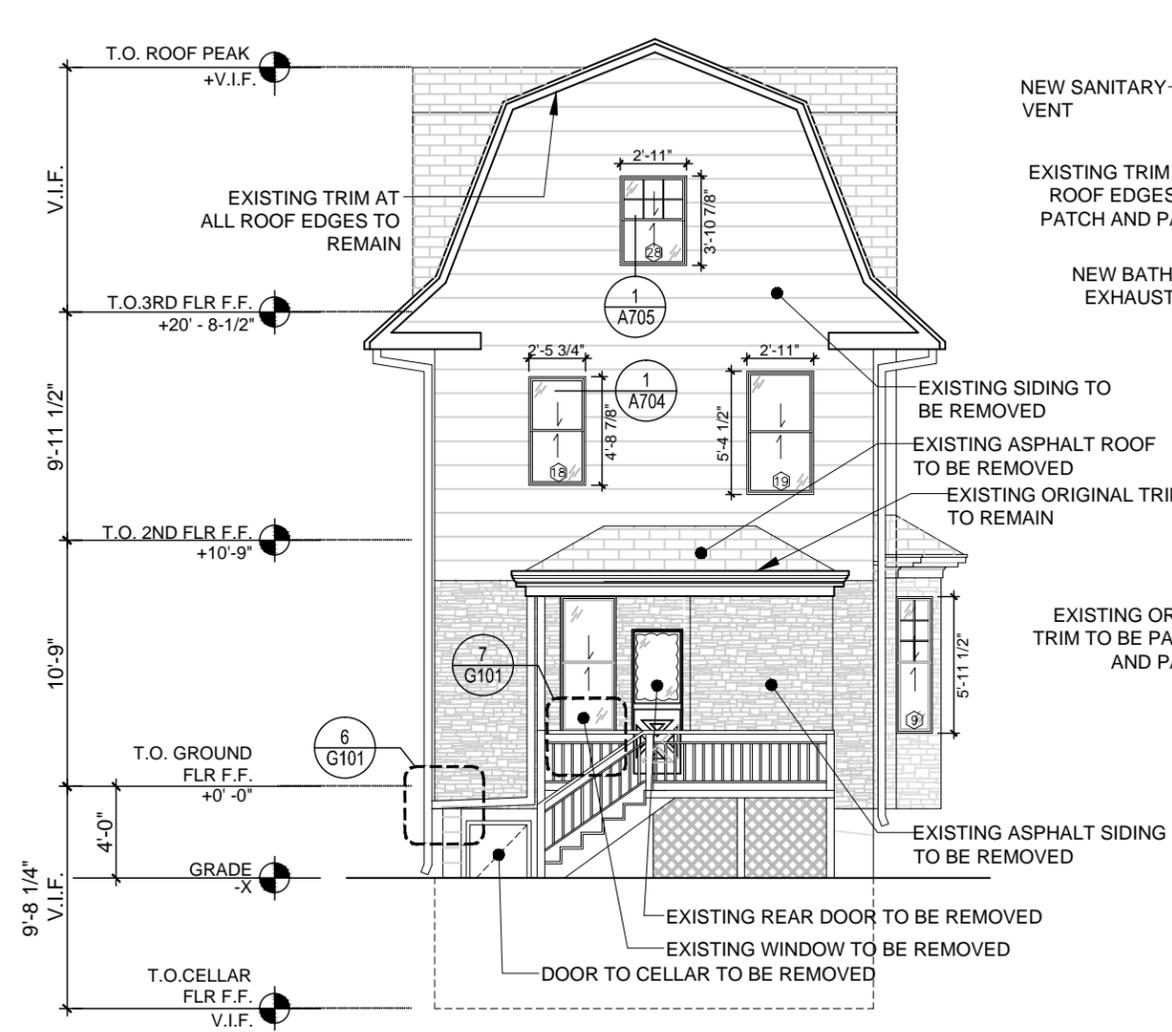
SHEET 16 OF 48



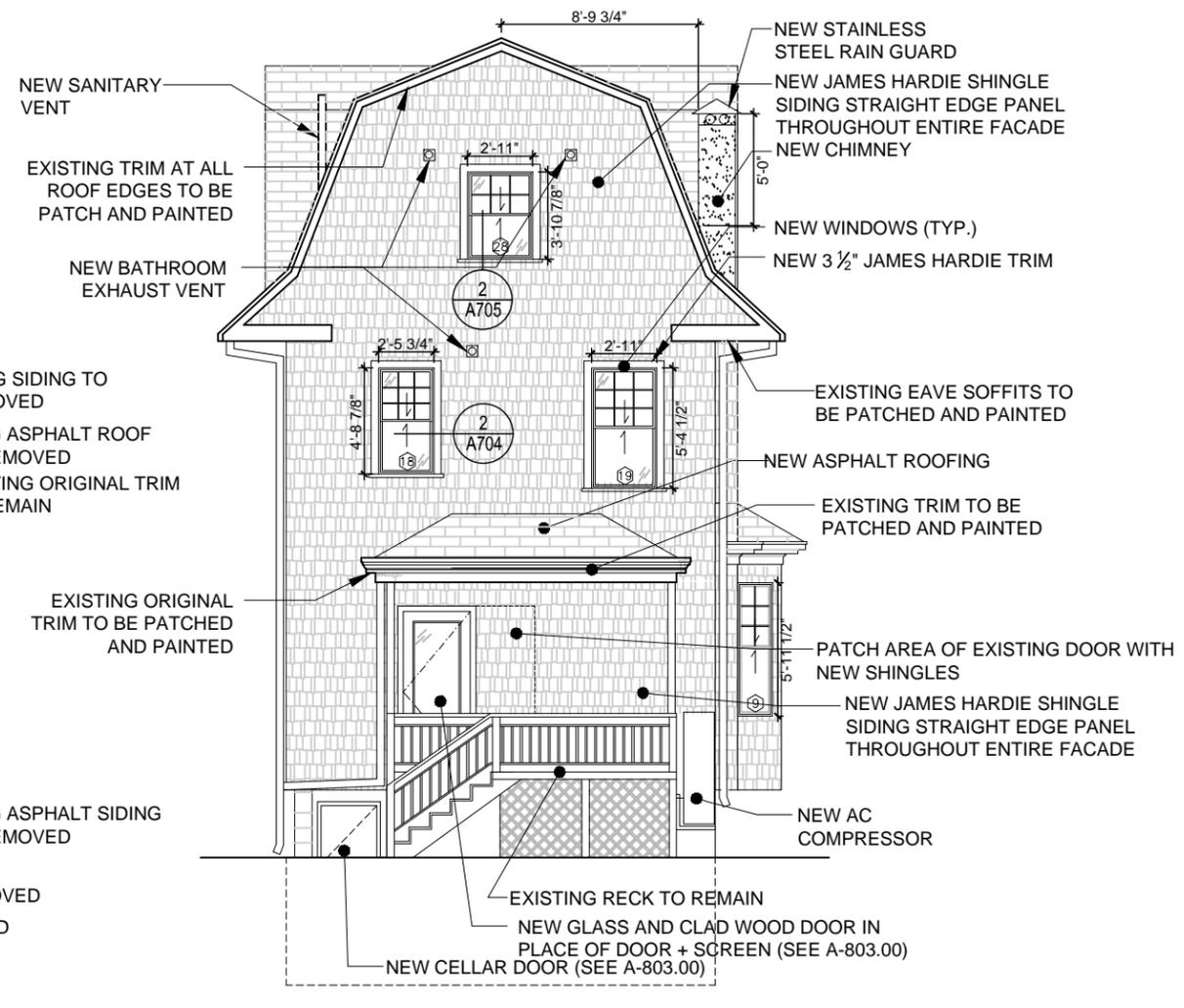
**1** EXISTING ELEVATION  
 SCALE: 1/8" = 1'-0"



**2** PROPOSED FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



**1** EXISTING REAR ELEVATION  
SCALE: 1/8" = 1'-0"



**2** PROPOSED REAR ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

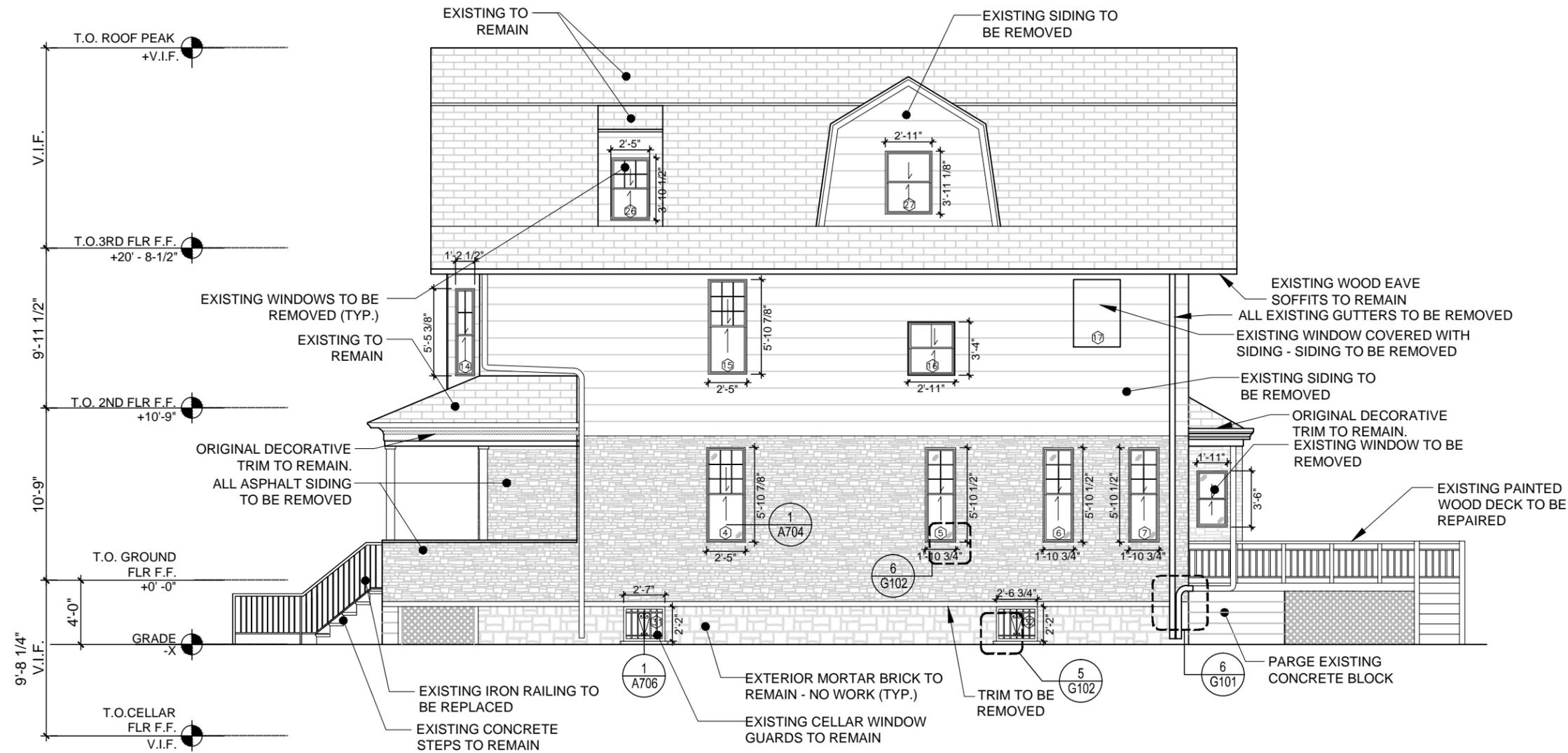
DWG. TITLE:  
**REAR ELEVATIONS**

SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-601.00**  
SHEET 17 OF 48



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
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RSVP ARCHITECTURE STUDIO PLLC

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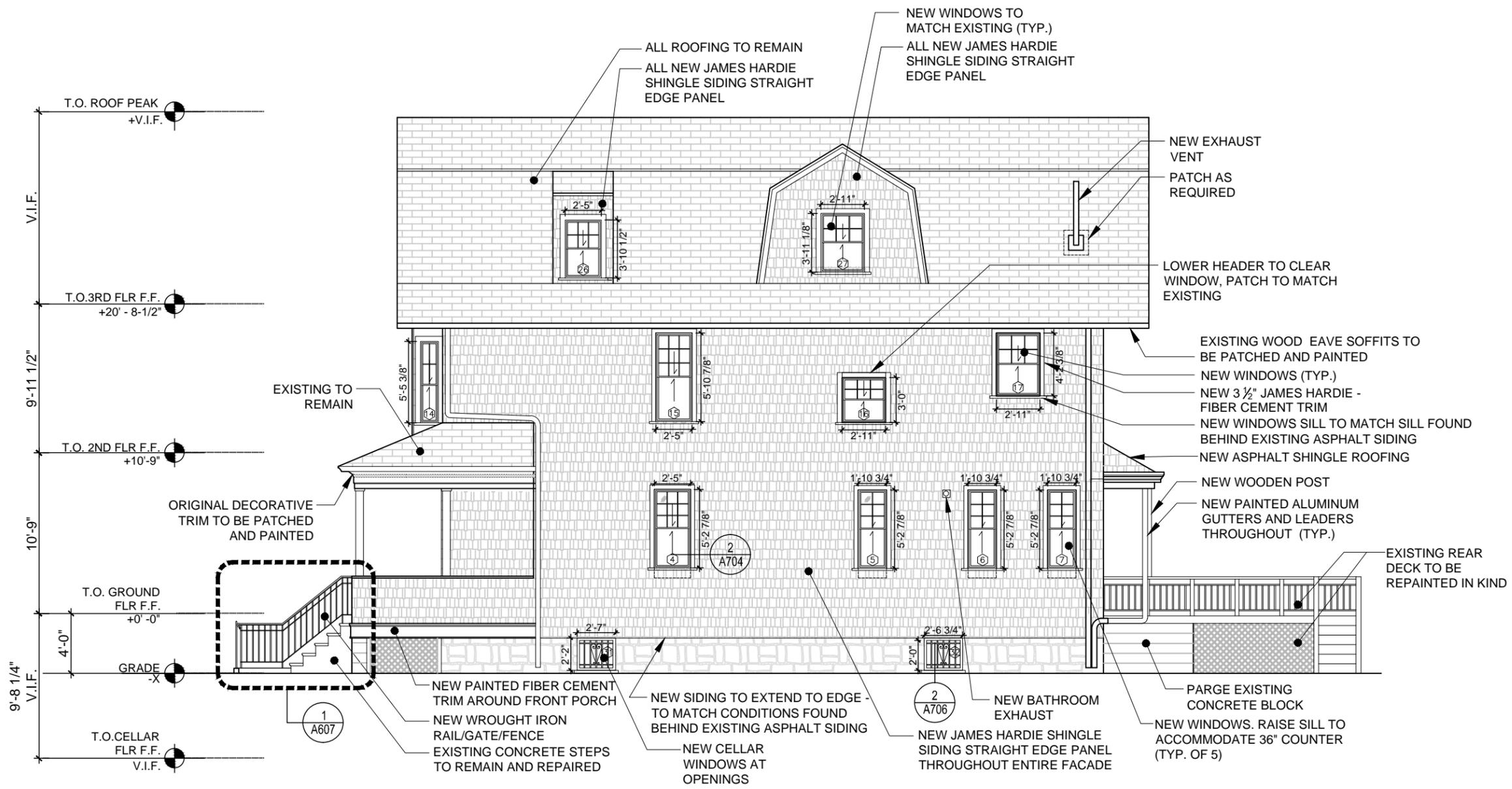
OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**EXISTING EAST ELEVATION**

SCALE: 1/8" = 1'-0"  
DATE: 7.20.2015

DWG. #:  
**A-602.00**  
SHEET 18 OF 48



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

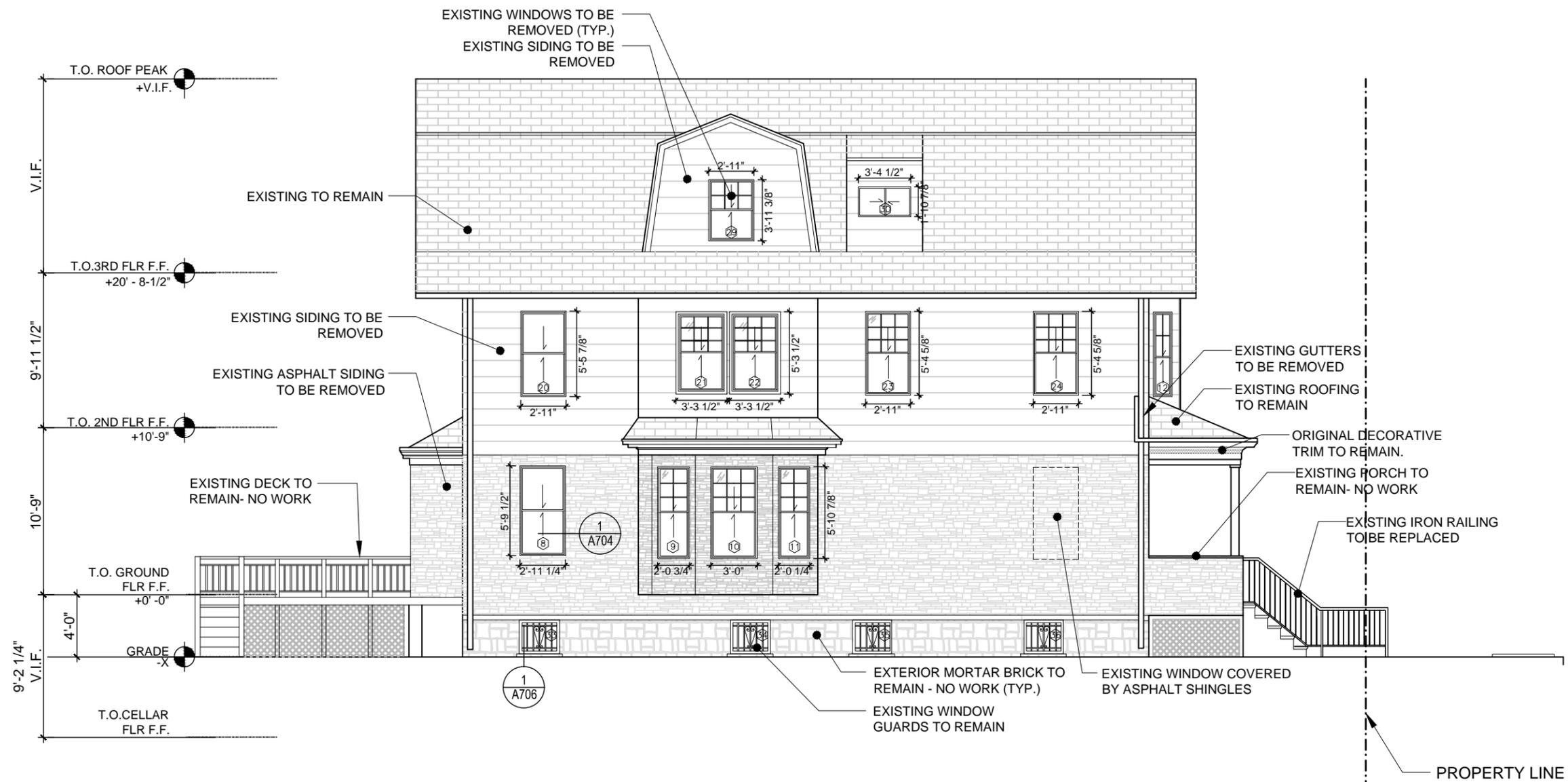
DWG. TITLE:  
**PROPOSED EAST ELEVATION**

SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-603.00**  
SHEET 19 OF 48



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
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ISSUED FOR LPC REVIEW

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PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

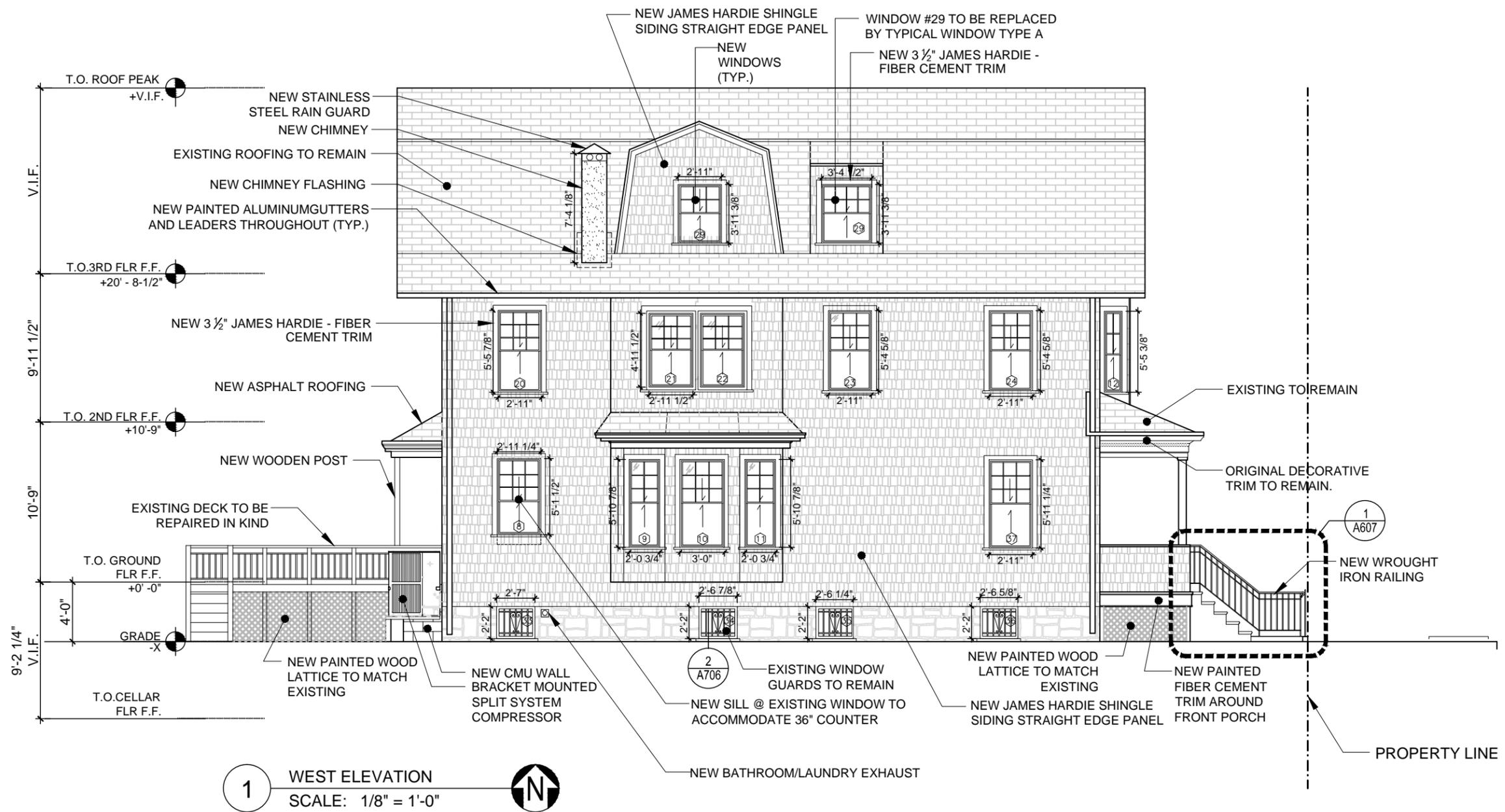
DWG. TITLE:  
**EXISTING WEST ELEVATION**

SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-604.00**  
SHEET 20 OF 48



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
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ISSUED FOR LPC REVIEW

OWNER:  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

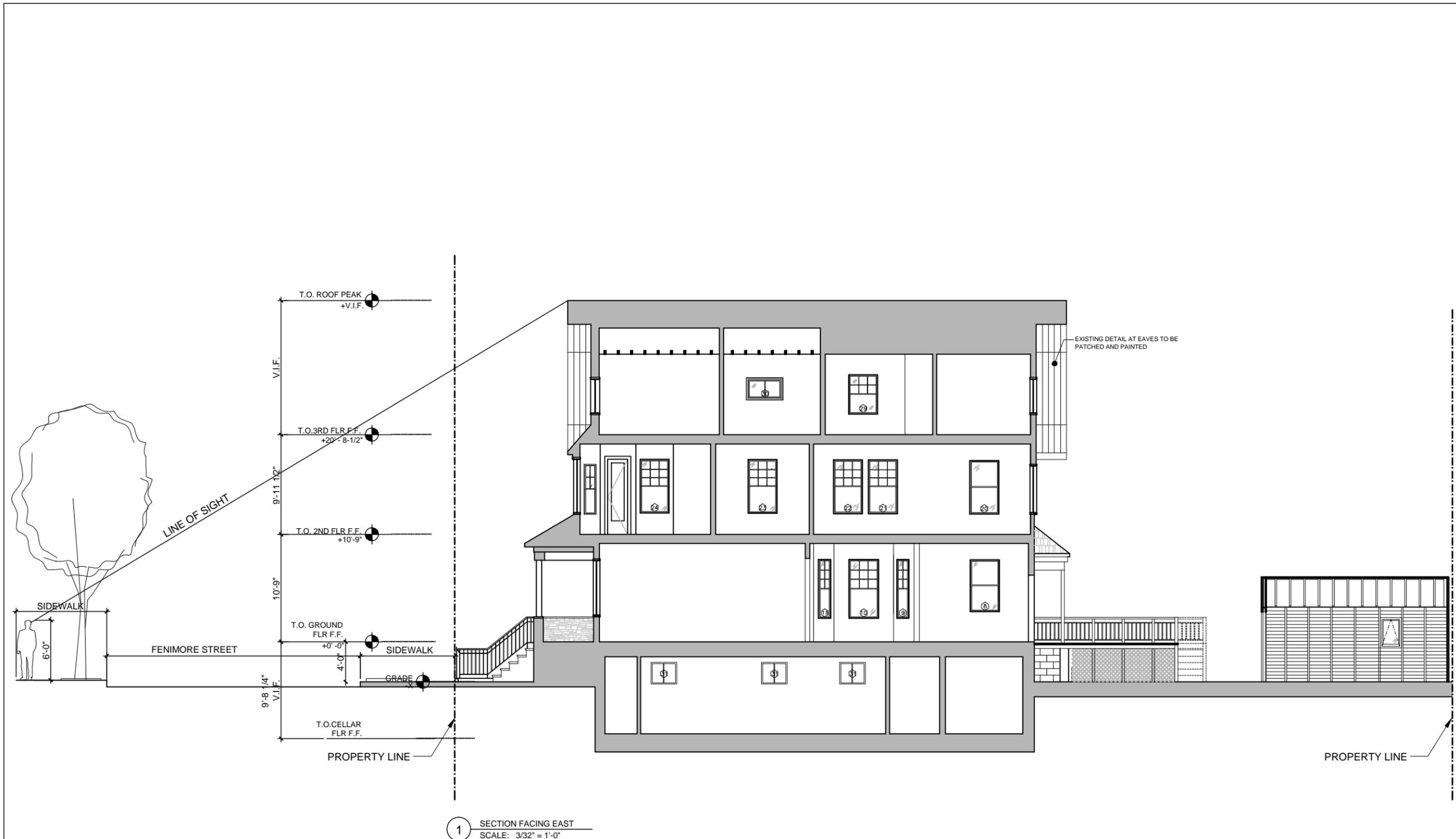
DWG. TITLE:  
**PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-605.00**  
SHEET 21 OF 48



1 SECTION FACING EAST  
SCALE: 3/32" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
TEL: 718-858-4018  
FAX: 718-858-7091  
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RSVP ARCHITECTURE STUDIO PLLC

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BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**SECTION FACING EAST**

SCALE: 3/32" = 1'-0"

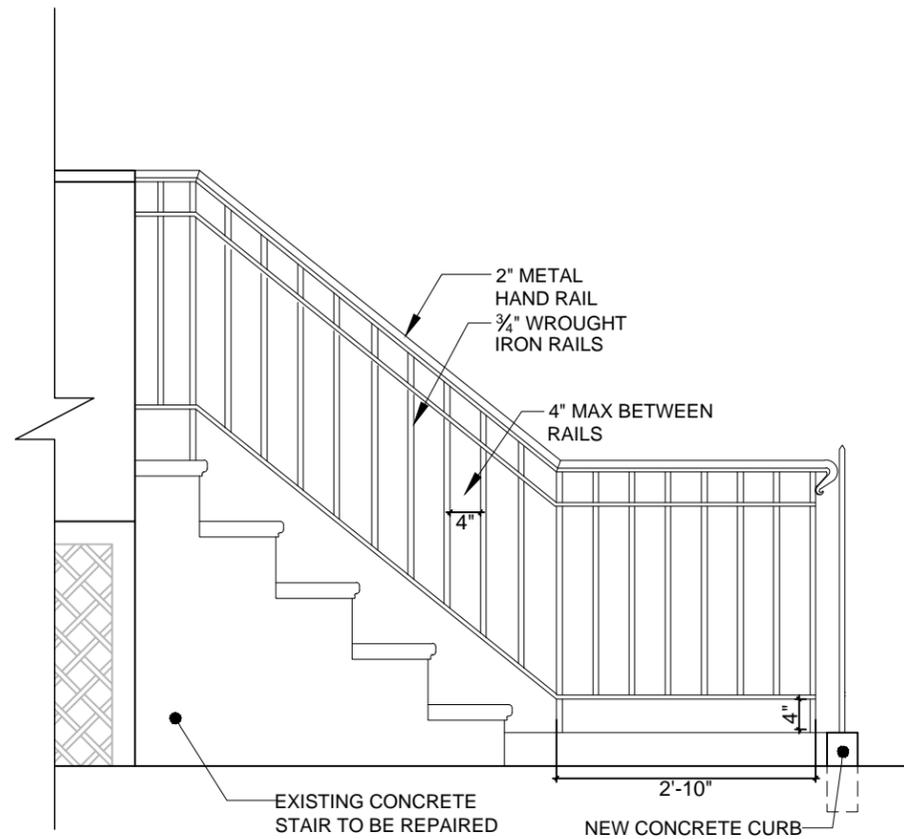
DATE: 7.20.2015

DWG. #:

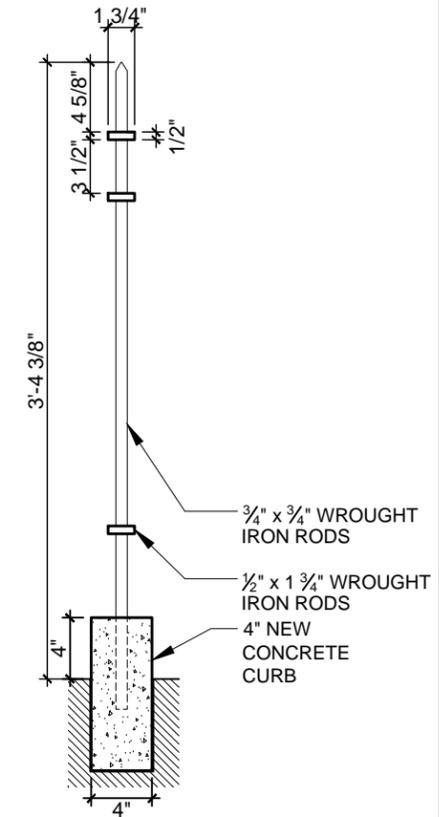
**A-606.00**  
SHEET 22 OF 48



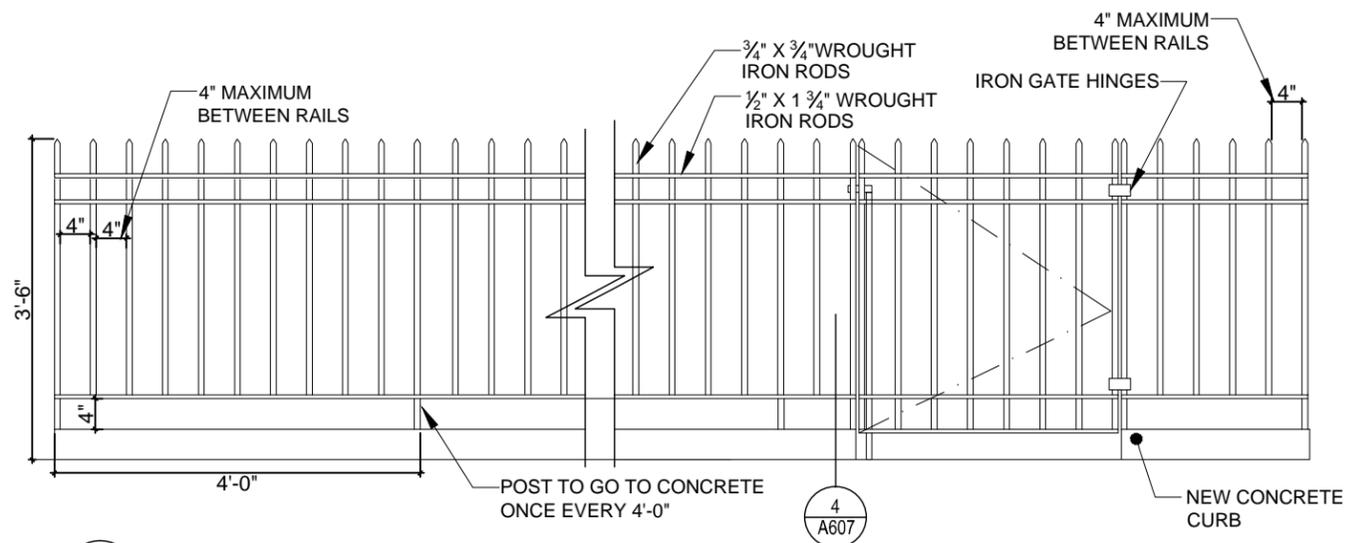
**1** PROPOSED ELEVATION  
SCALE: 1/8" = 1'-0"



**2** STAIR RAIL ELEVATION  
SCALE: 1/2" = 1'-0"



**4** RAILING DETAIL  
SCALE: 1" = 1'-0"



**3** FRONT RAILING ELEVATION  
SCALE: 1/2" = 1'-0"

REVISIONS:

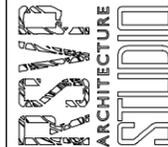
Number Date

N-PLUS ARCHITECTURE & DESIGN



68 JAY STREET  
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OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**SECTION FACING WEST**

SCALE: SEE AS NOTED

DATE: 7.20.2015

DWG. #:

**A-607.00**  
SHEET 23 OF 48



1 EXISTING GARAGE  
SCALE: NO SCALE



2 EXISTING GARAGE  
SCALE: NO SCALE



7 EXISTING GARAGE  
SCALE: NO SCALE



8 EXISTING GARAGE  
SCALE: NO SCALE

ROLL UP GARAGE DOOR, ALL  
HARDWARE NEEDS TO BE  
REPLACED

CONSISTENT DETERIORATION OF  
GARAGE STRUCTURES

RUSTING OF METAL SHEATHING  
THROUGHOUT GARAGE



3 EXISTING GARAGE  
SCALE: NO SCALE



4 EXISTING GARAGE  
SCALE: NO SCALE



5 EXISTING GARAGE  
SCALE: NO SCALE



6 EXISTING GARAGE  
SCALE: NO SCALE



9 EXISTING GARAGE  
SCALE: NO SCALE

REVISIONS:

Number Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
TEL: 718-858-4018  
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RSVP ARCHITECTURE STUDIO PLLC

68 JAY STREET  
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BROOKLYN, NY 11201  
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ISSUED FOR LPC REVIEW

OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
211 FENIMORE ST  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**EXISTING GARAGE  
CONDITION PHOTOS**

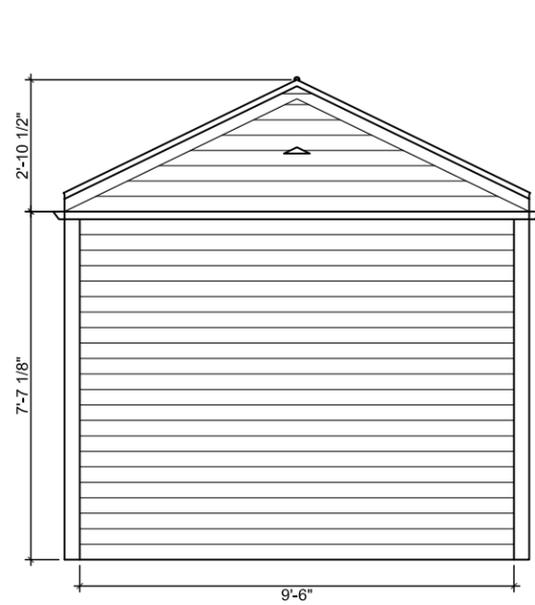
SCALE: NTS

DATE: 7.20.2015

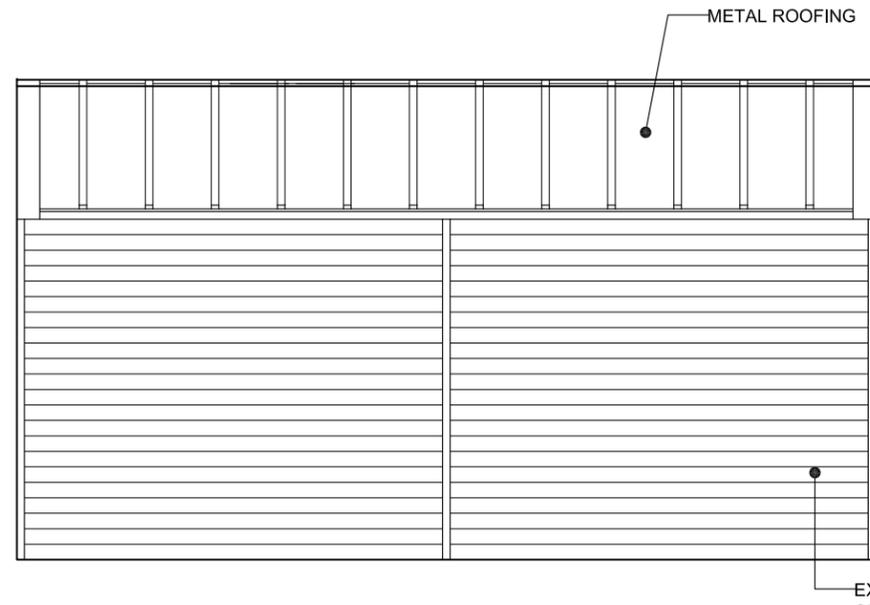
DWG. #:

**A-608.00**

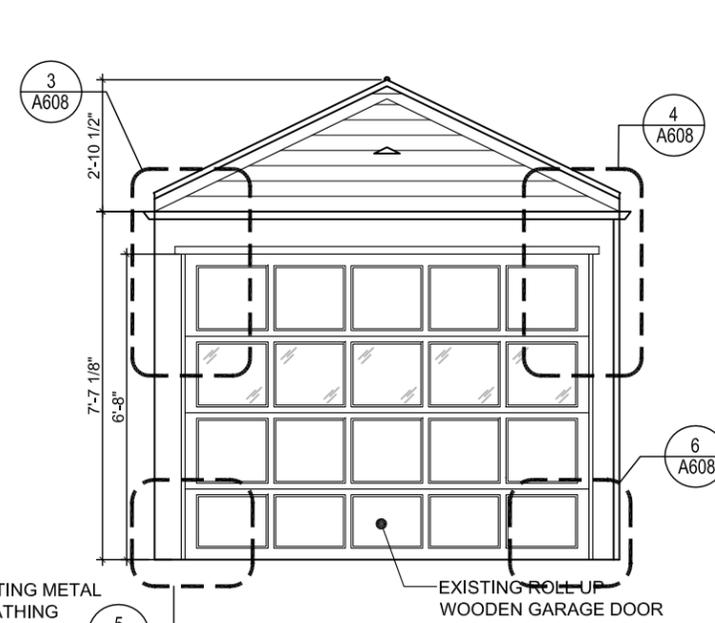
SHEET 24 OF 48



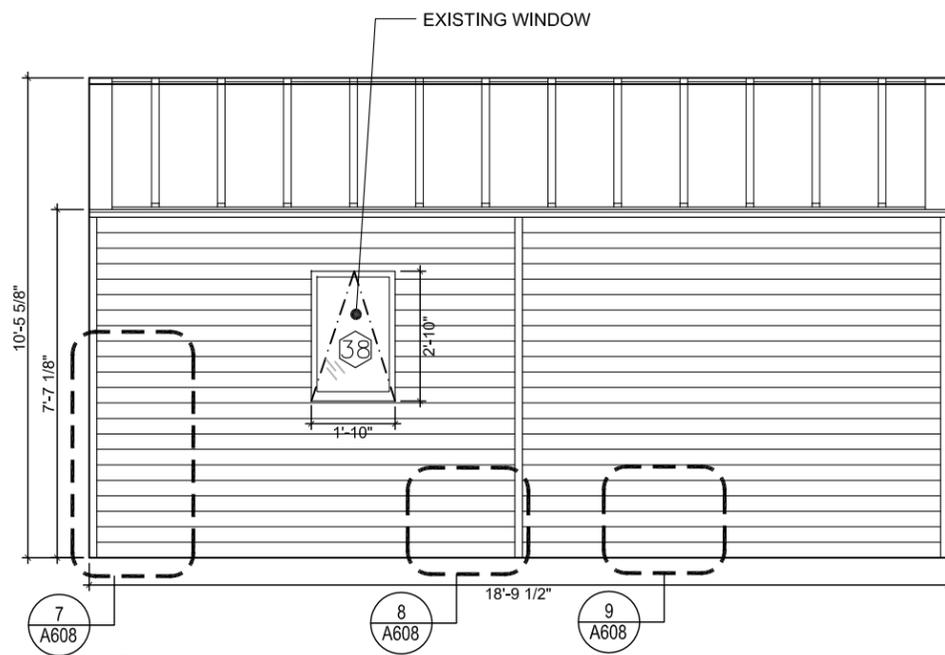
**1** EXISTING GARAGE - NORTH ELE.  
SCALE: 1/4" = 1'-0"



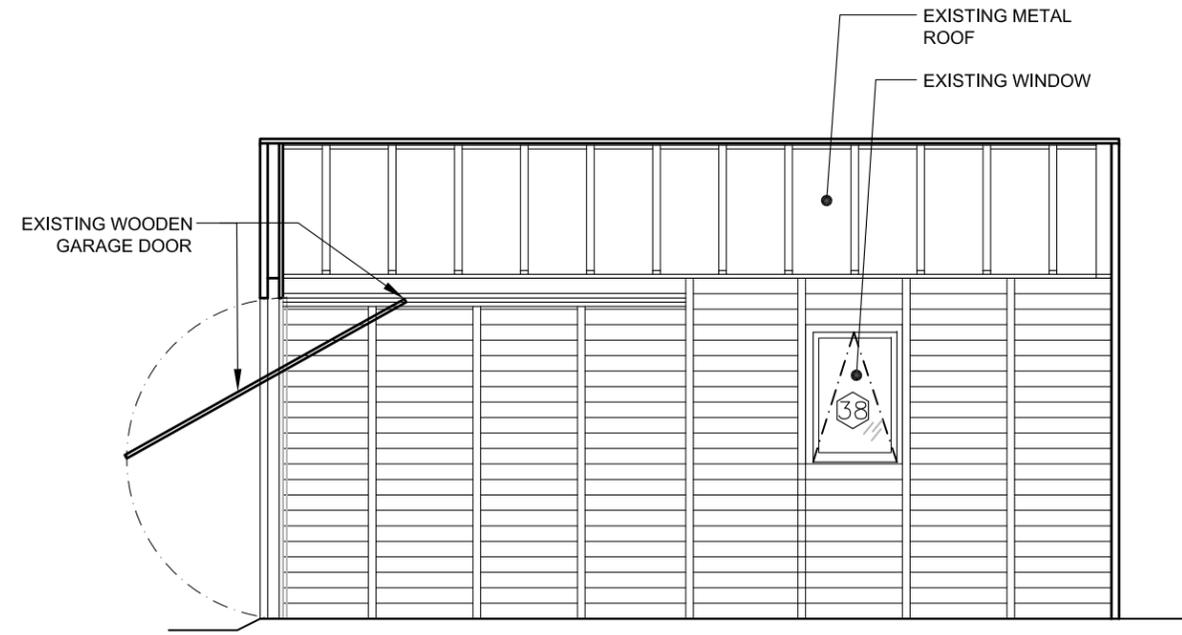
**2** EXISTING GARAGE - EAST ELE.  
SCALE: 1/4" = 1'-0"



**3** EXISTING GARAGE - SOUTH ELE.  
SCALE: 1/4" = 1'-0"



**4** EXISTING GARAGE - WEST ELEV.  
SCALE: 1/4" = 1'-0"



**5** EXISTING GARAGE - SECTION FACING WEST  
SCALE: 1/4" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

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ISSUED FOR LPC REVIEW

OWNER:  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**EXISTING GARAGE**

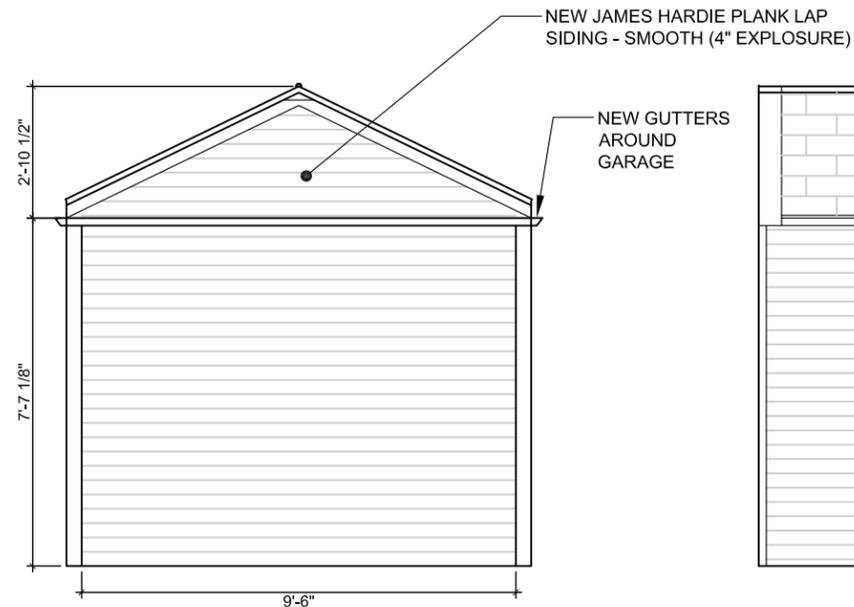
SCALE: 1/4" = 1'-0"

DATE: 7.20.2015

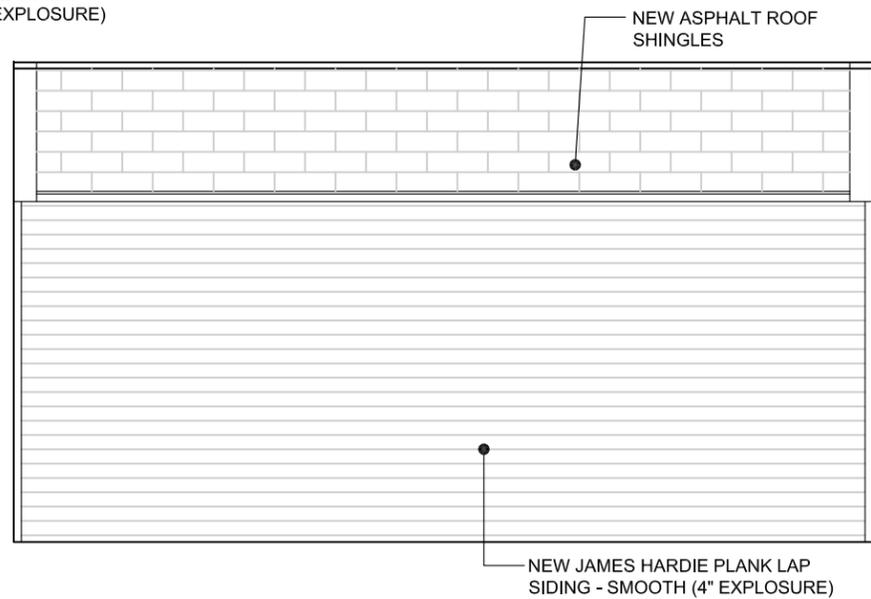
DWG. #:

**A-609.00**

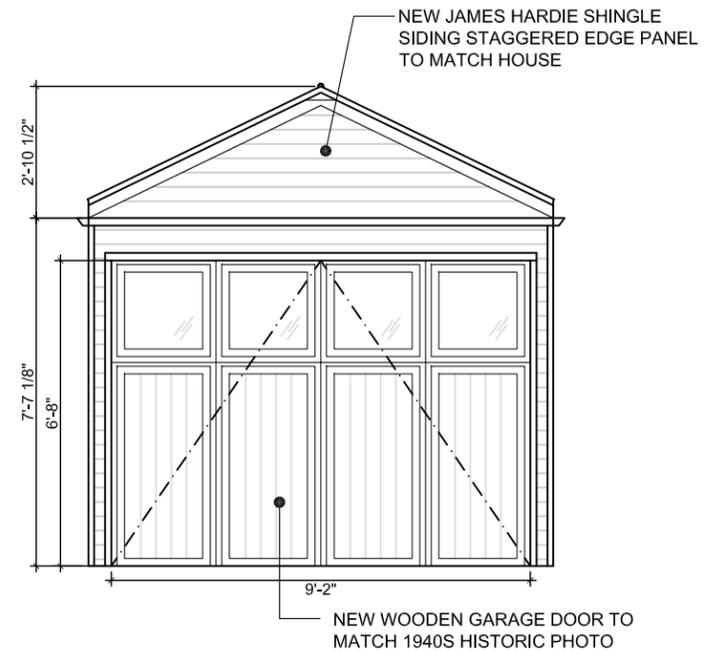
SHEET 25 OF 48



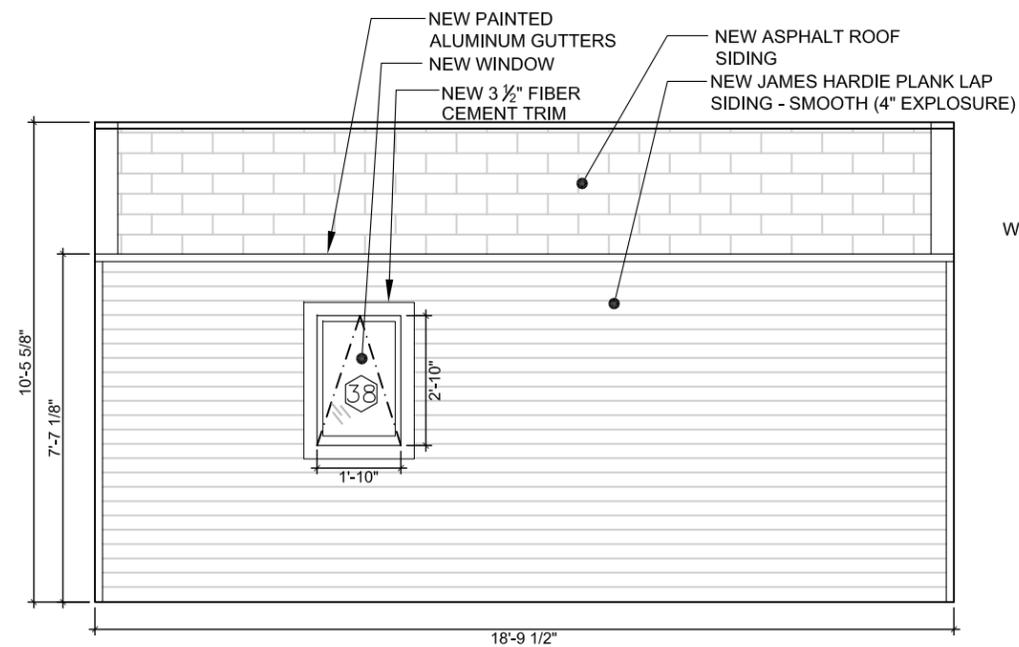
**1** PROPOSED GARAGE - NORTH ELE.  
SCALE: 1/4" = 1'-0"



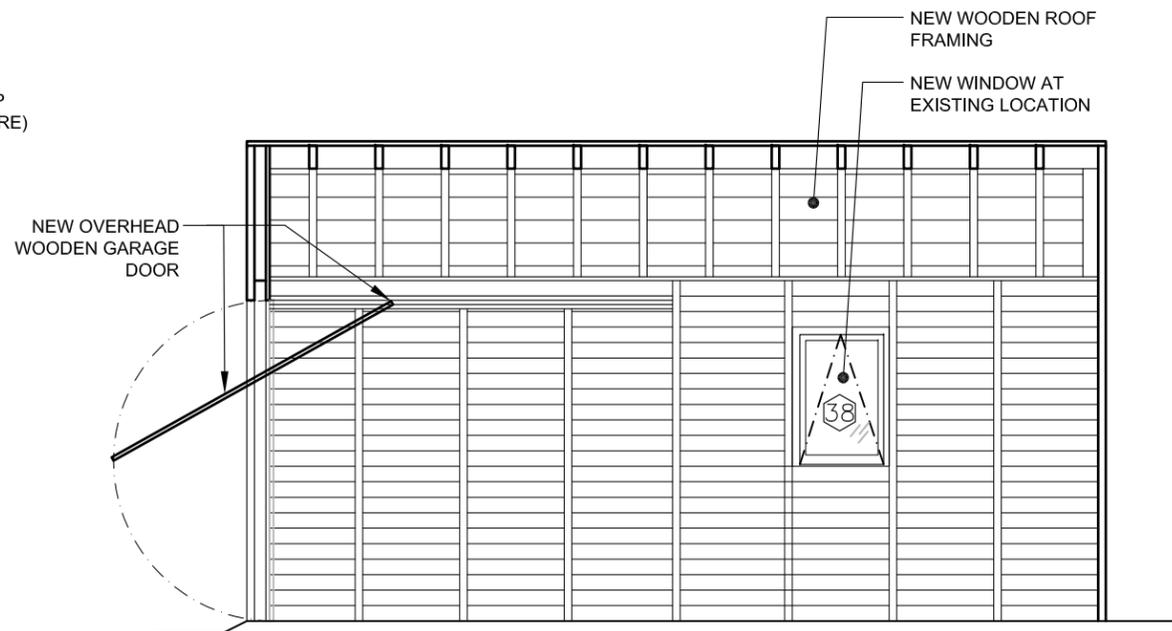
**2** PROPOSED GARAGE - EAST ELE.  
SCALE: 1/4" = 1'-0"



**3** PROPOSED GARAGE - SOUTH ELE.  
SCALE: 1/4" = 1'-0"



**4** PROPOSED GARAGE - WEST ELE.  
SCALE: 1/4" = 1'-0"



**5** PROPOSED GARAGE - SECTION FACING WEST  
SCALE: 1/4" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
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ISSUED FOR LPC REVIEW

OWNER:  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

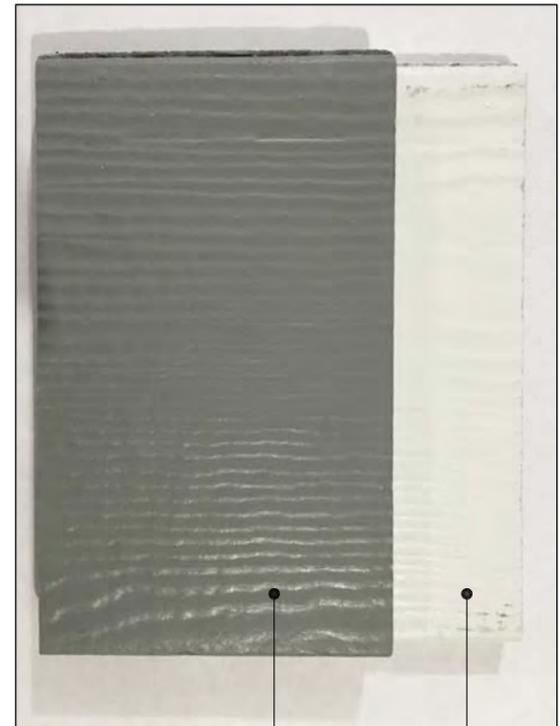
DWG. TITLE:  
**PROPOSED GARAGE**

SCALE: 1/4" = 1'-0"  
DATE: 7.20.2015

DWG. #:  
**A-610.00**  
SHEET 26 OF 48

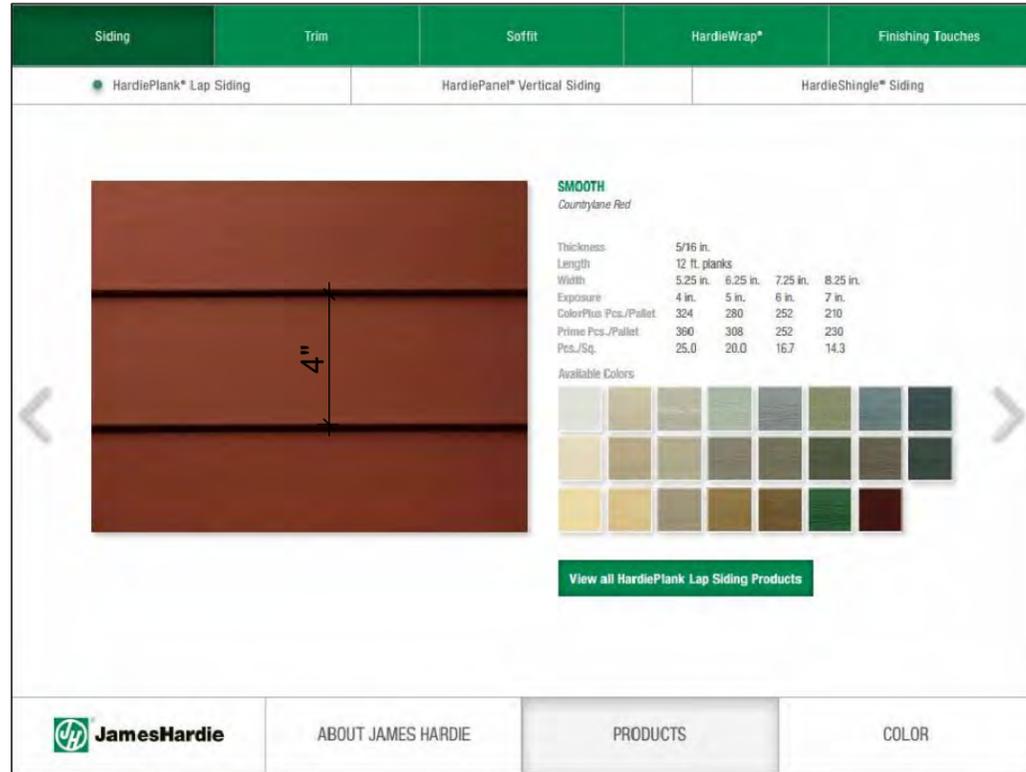


1 JAMES HARDIE SHINGLE SIDING, STRAIGHT EDGE PANEL  
SCALE: NTS



SELECTED COLOR FOR TRIM - ARCTIC WHITE

SELECTED COLOR FOR SIDING - GRAY SLATE



2 JAMES HARDIE PLANK LAP SIDING - SMOOTH  
SCALE: NTS

REVISIONS:

1	08.26.2015
---	------------

Number Date

N-PLUS ARCHITECTURE & DESIGN

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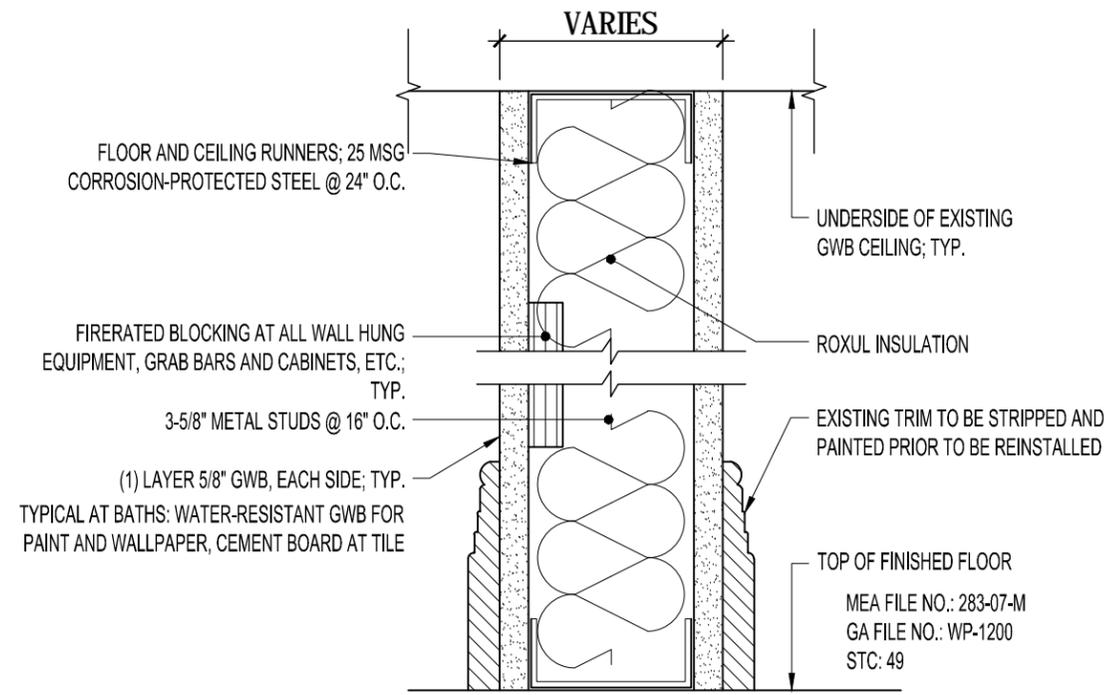
DWG. TITLE:  
**NEW BUILDING  
FACADE MATERIAL**

SCALE: NTS

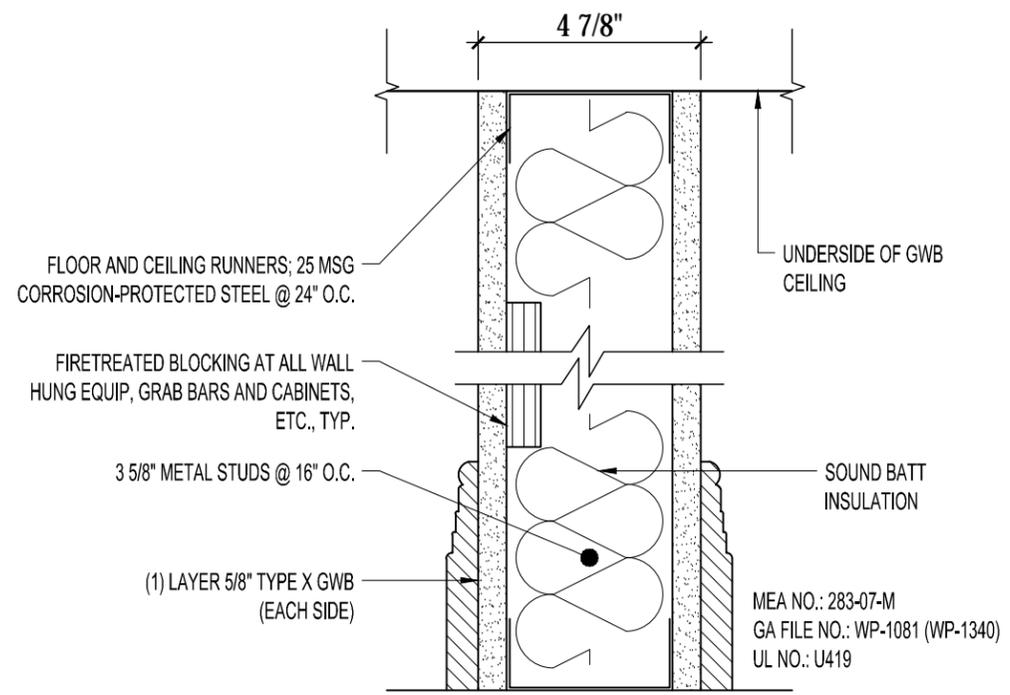
DATE: 7.20.2015

DWG. #:

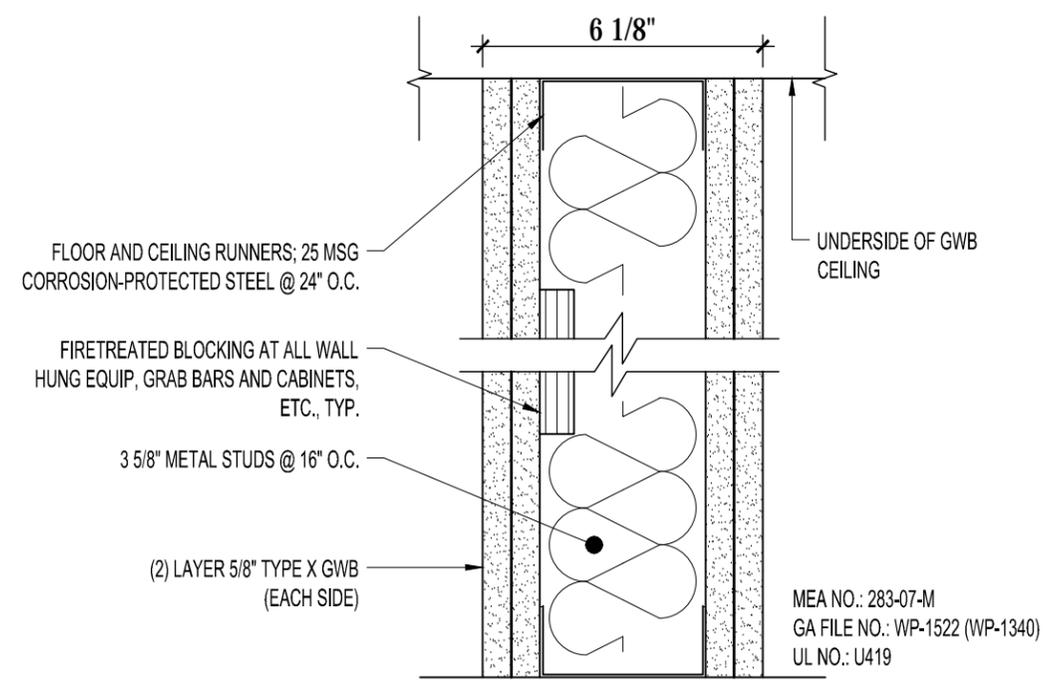
**A-611.01**  
SHEET 27 OF 48



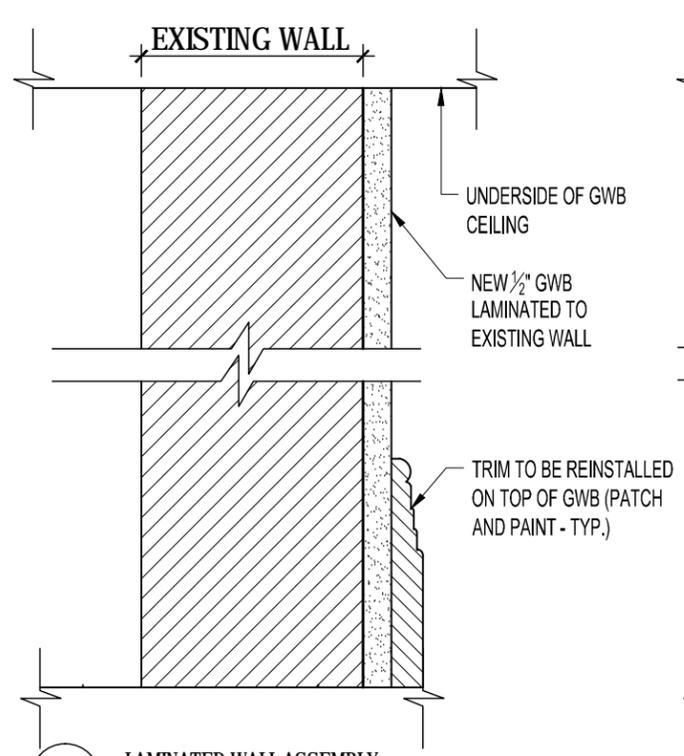
**0 UNRATED GWB PARTITION**  
3"=1'-0"



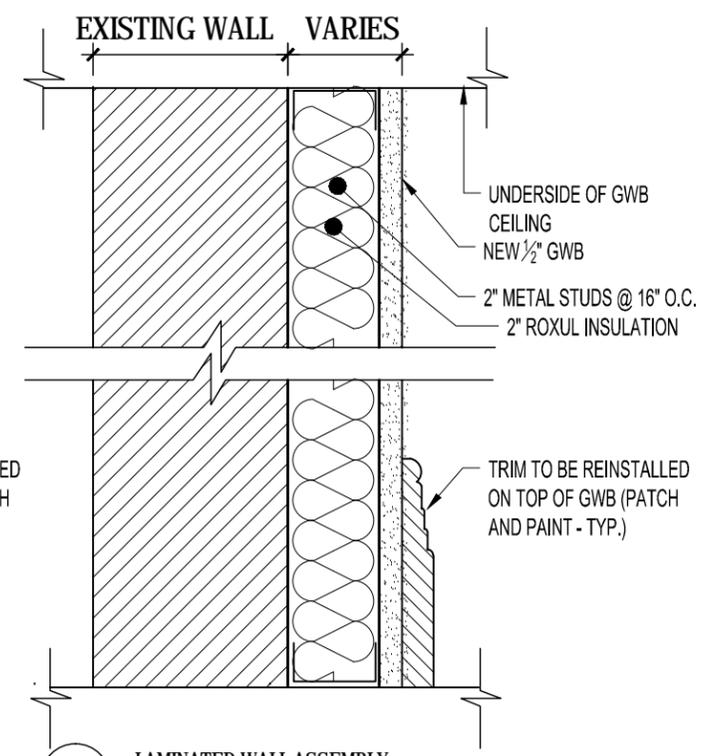
**1 1 HR RATED GWB PARTITION**  
3"=1'-0"



**2 2 HR. RATED GWB PARTITION**  
3"=1'-0"



**3 LAMINATED WALL ASSEMBLY**  
SCALE: 3"=1'-0"



**4 LAMINATED WALL ASSEMBLY**  
SCALE: 3"=1'-0"

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	
 68 JAY STREET UNIT NO. 306 BROOKLYN, NY 11201 TEL: 718-858-4018 FAX: 718-858-7091 INFO@N-PLUS.US	
RSVP ARCHITECTURE STUDIO PLLC	
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ISSUED FOR LPC REVIEW

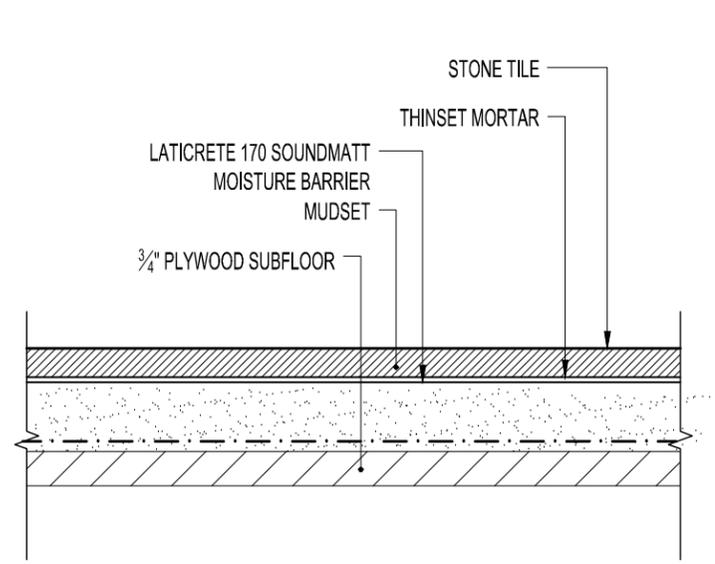
OWNER:  
MICHELLE ADAMS & LAURA NELSON  
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BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

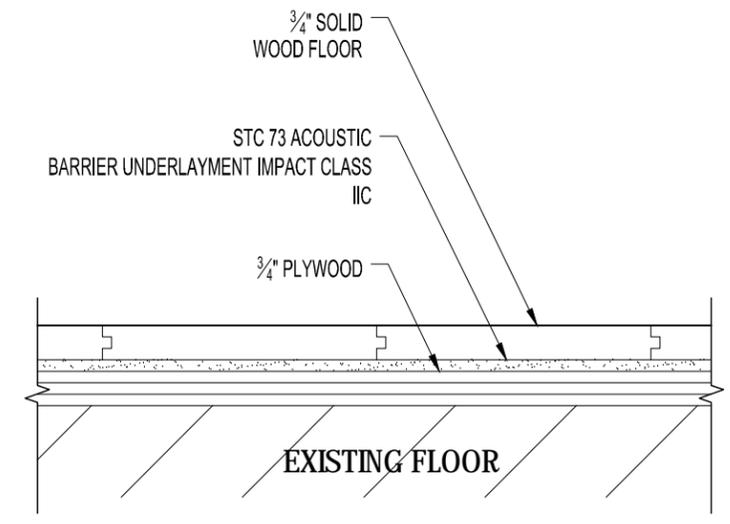
DWG. TITLE:  
**TYPICAL DETAILS**

SCALE: 3" = 1'-0"  
DATE: 7.20.2015  
DWG. #:

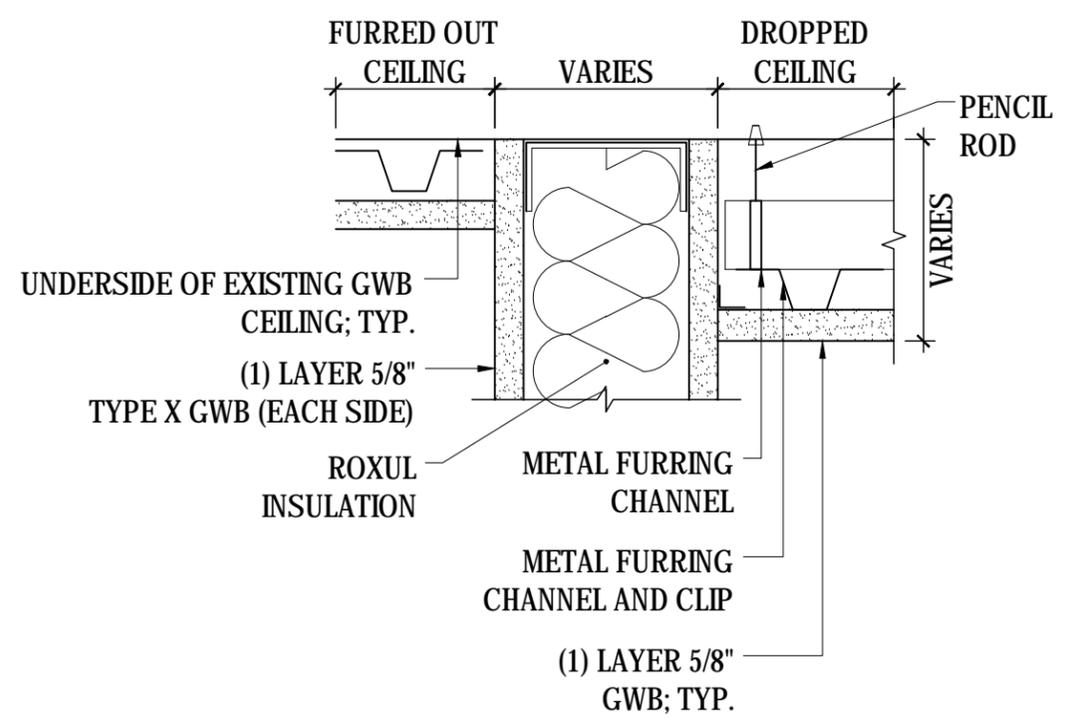
**A-700.00**  
SHEET 28 OF 48



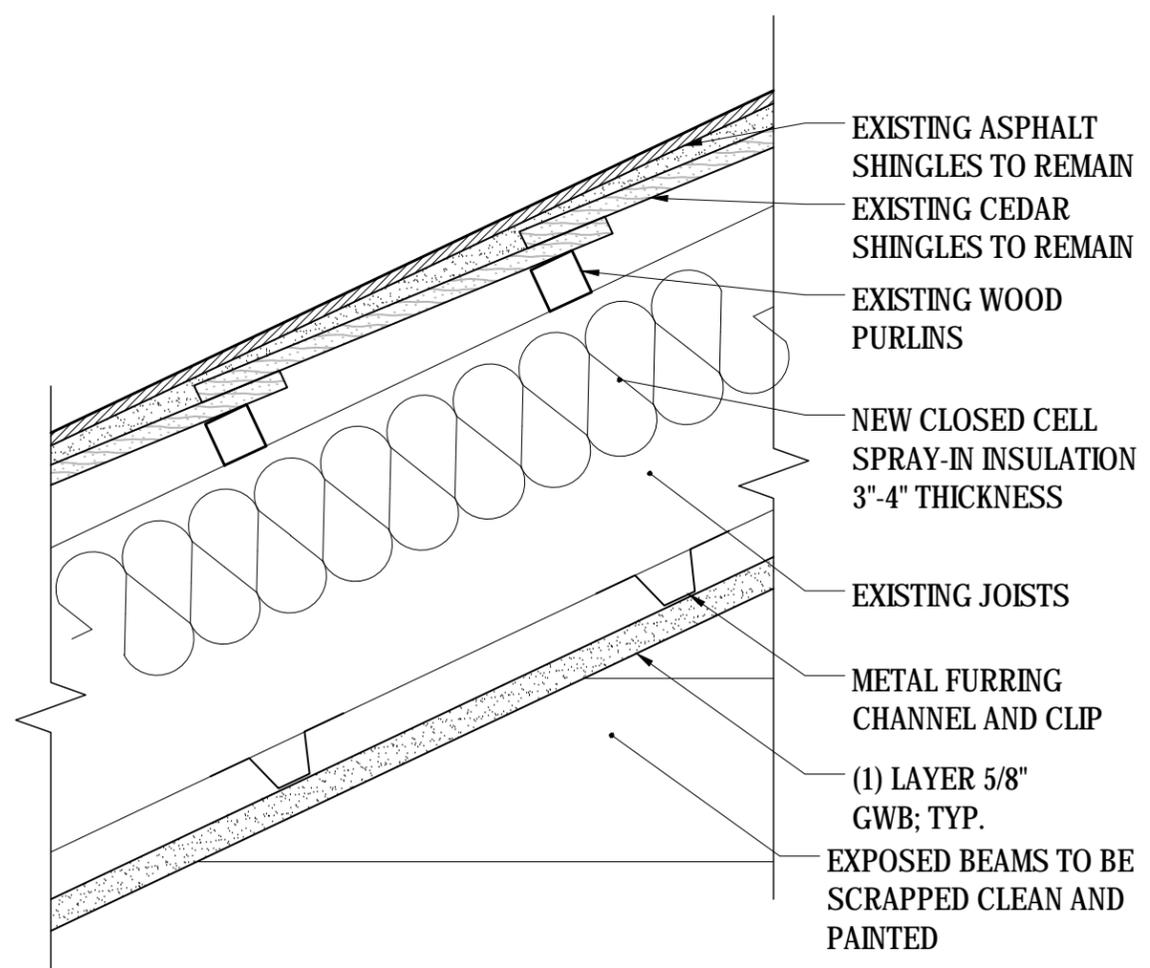
**1** TYPICAL STONE/TILE FLOOR DETAIL  
SCALE: 3"=1'-0"



**2** TYPICAL WOOD FLOOR DETAIL  
SCALE: 3"=1'-0"



**3** TYPICAL DROPPED CEILING DETAIL  
SCALE: 3"=1'-0"



**4** 3RD FLOOR CEILING/ROOF DETAIL  
SCALE: 3"=1'-0"

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	

**N-PLUS ARCHITECTURE & DESIGN**  
68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
TEL: 718-858-4018  
FAX: 718-858-7091  
INFO@N-PLUS.US

**RSVP ARCHITECTURE STUDIO**  
68 JAY STREET  
UNIT NO. 306  
BROOKLYN, NY 11201  
TEL: 718-625-1948  
FAX: 718-858-7091  
INFO@RSVP-STUDIO.COM

ISSUED FOR LPC REVIEW

OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**TYPICAL DETAILS**

SCALE: 3" = 1'-0"

DATE: 7.20.2015

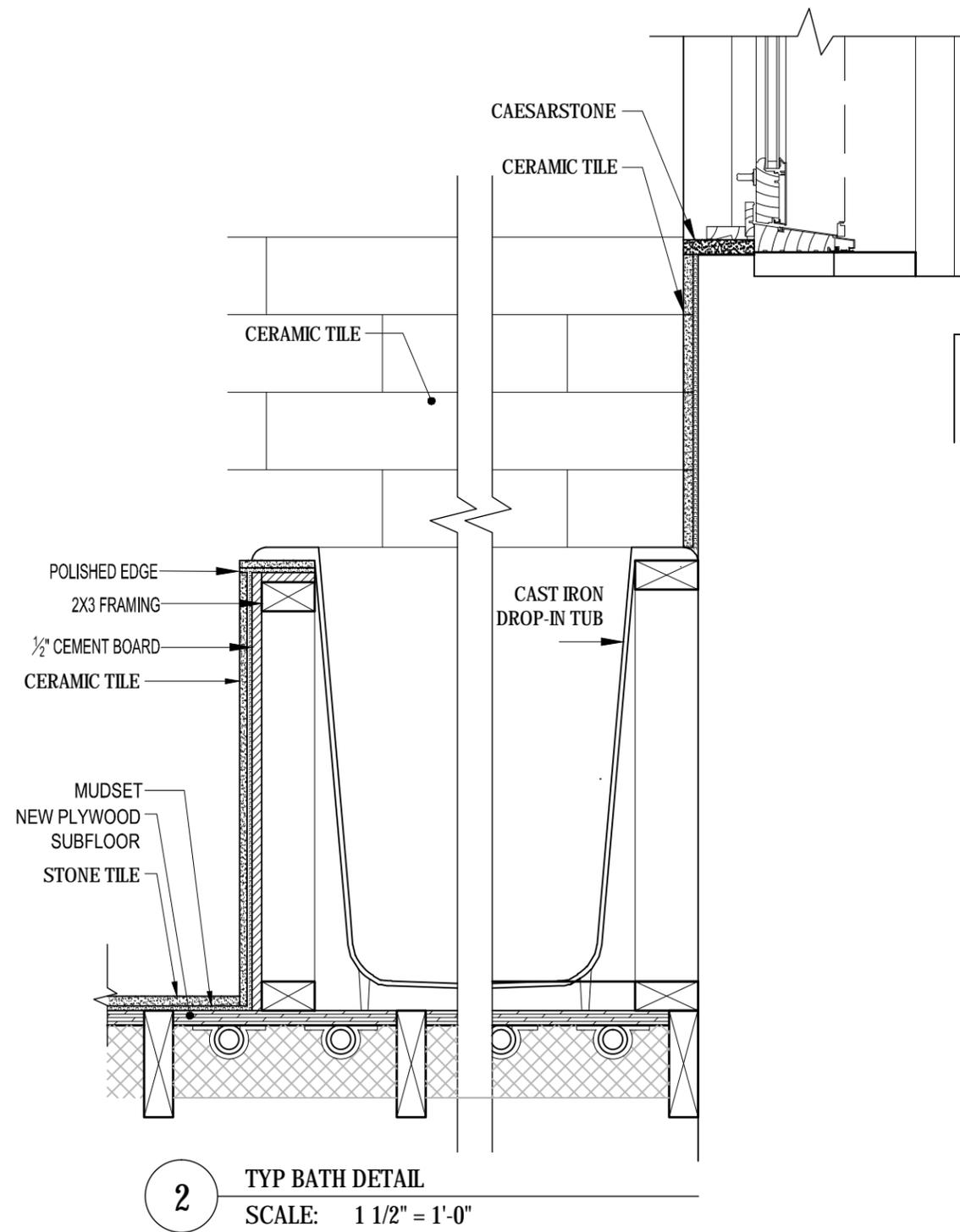
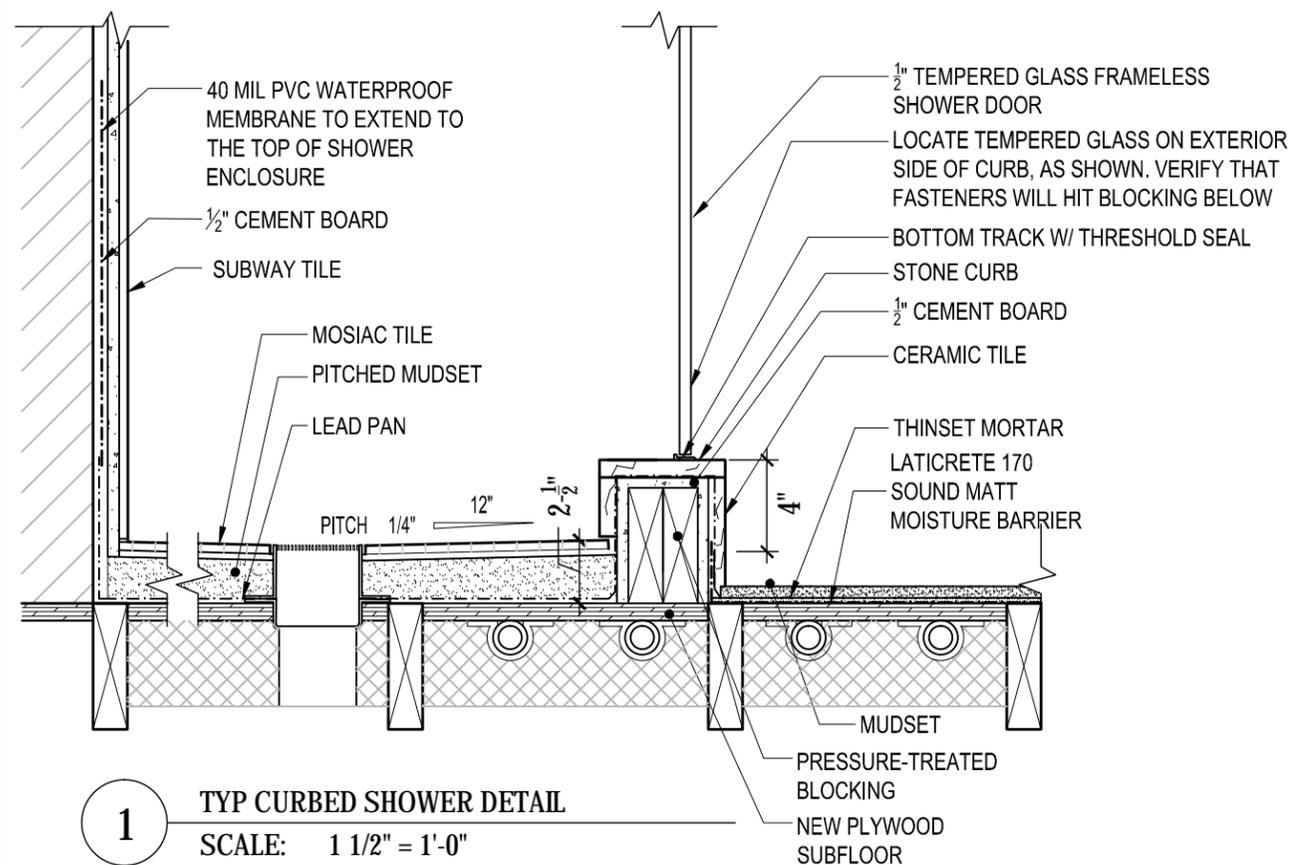
DWG. #:

**A-701.00**

SHEET 29 OF 48

**NOTES:**

1. PROVIDE DITRA WATERPROOFING MEMBRANE, 3 MM THICKNESS, BY PASCO, OATEY, OR APPROVED ALTERNATE.
2. LINER TO RUN UP THE WALL TO TOP OF WALL TILES.
3. PRIOR TO INSTALLATION OF TILE, ARCHITECT TO FIELD VERIFY TILE LAYOUT.



REVISIONS:

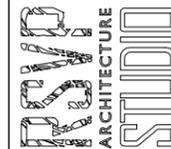
Number	Date

N-PLUS ARCHITECTURE & DESIGN



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 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**TYPICAL DETAILS**

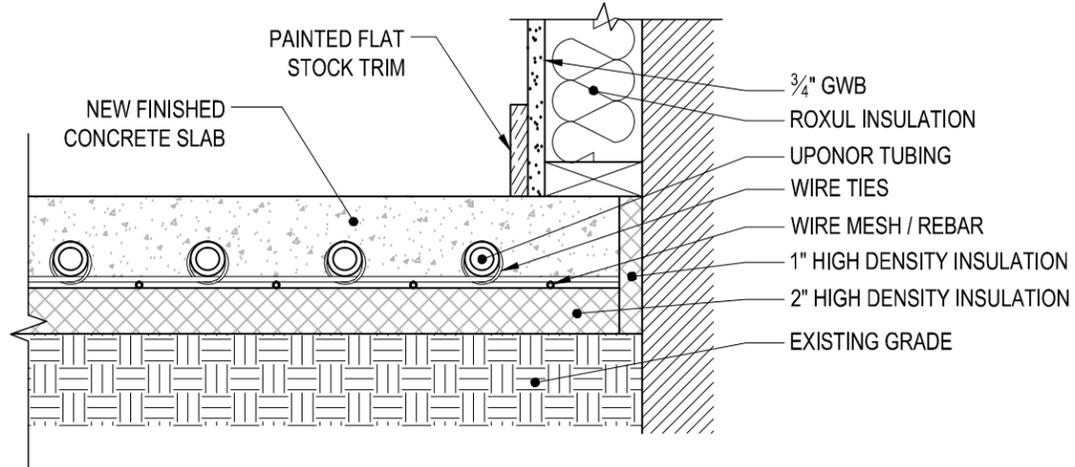
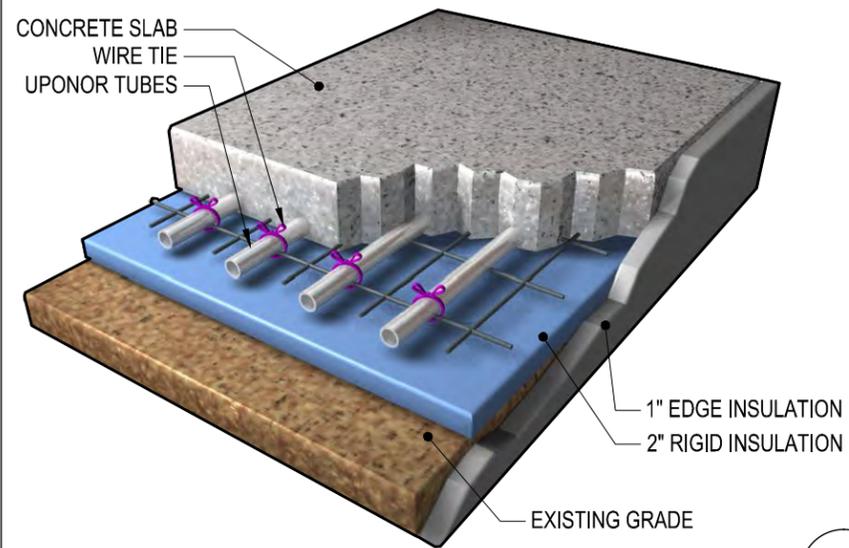
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DATE: 7.20.2015

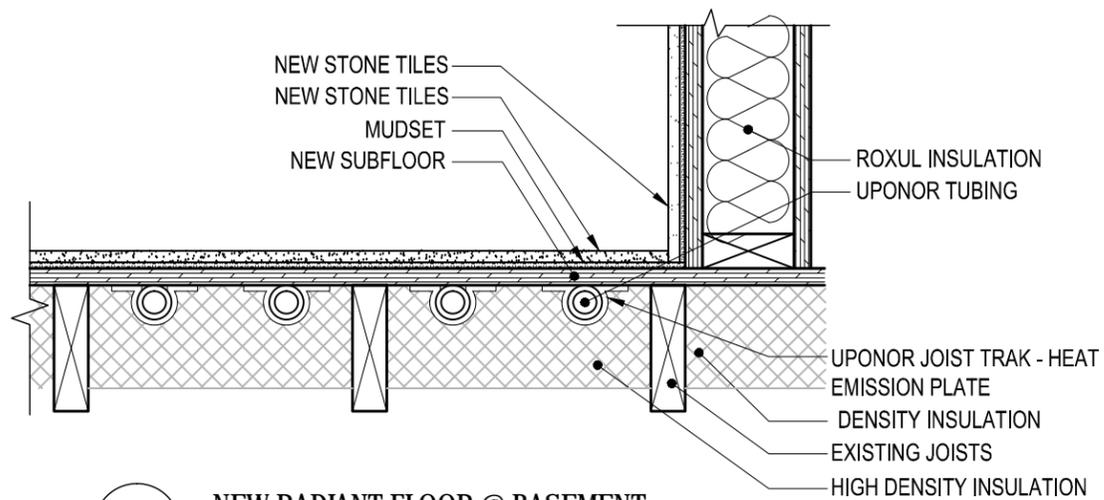
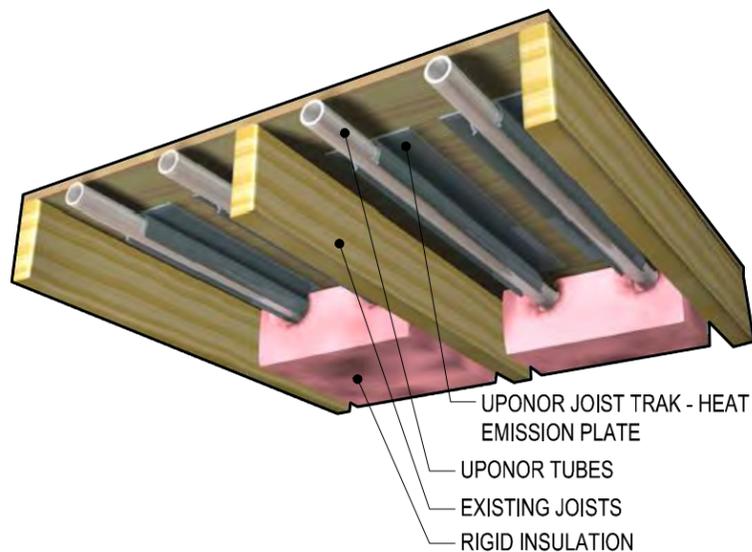
DWG. #:

**A-702.00**

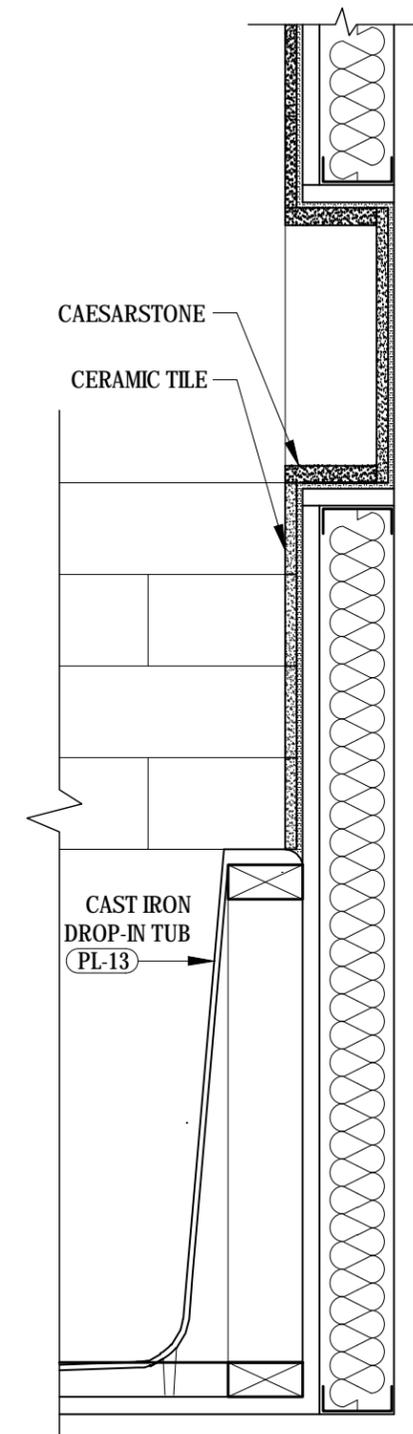
SHEET 30 OF 48



**1** NEW RADIANT FLOOR @ BASEMENT  
SCALE: 1 1/2" = 1'-0"



**2** NEW RADIANT FLOOR @ BASEMENT  
SCALE: 1 1/2" = 1'-0"



**4** TYP. BATH DETAIL  
SCALE: 1 1/2" = 1'-0"

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	

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PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

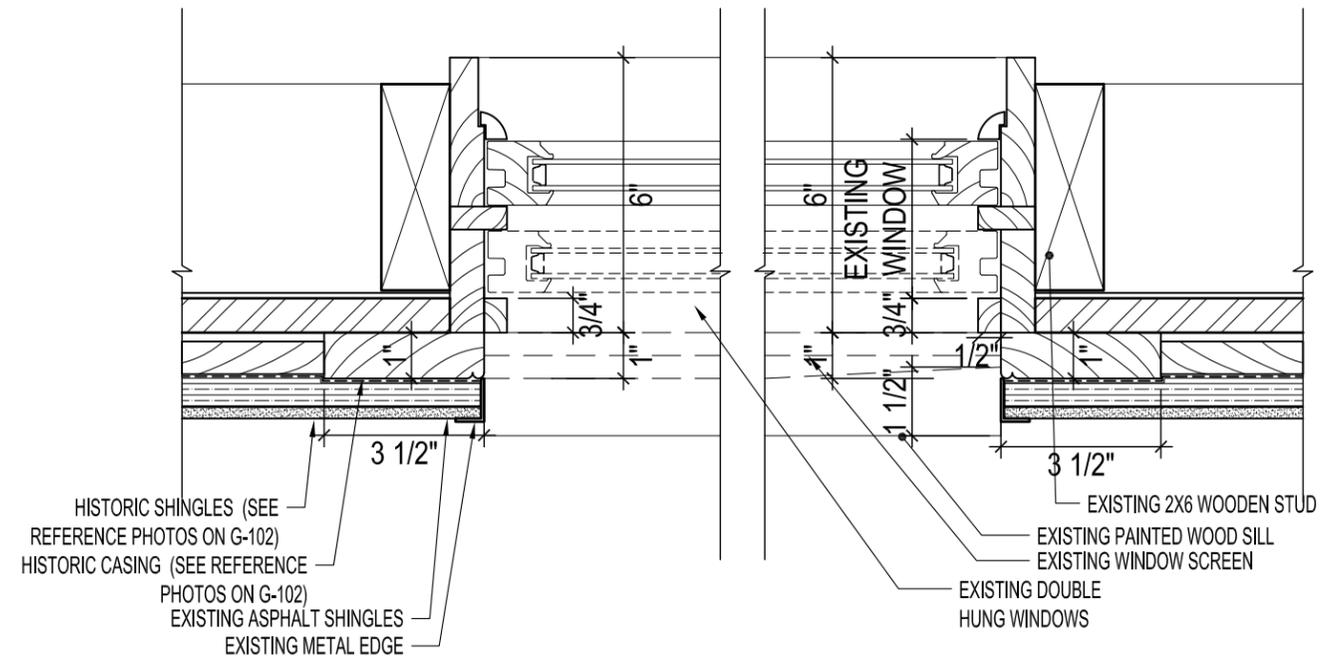
DWG. TITLE:  
**TYPICAL DETAILS**

SCALE: 1 1/2" = 1'-0"

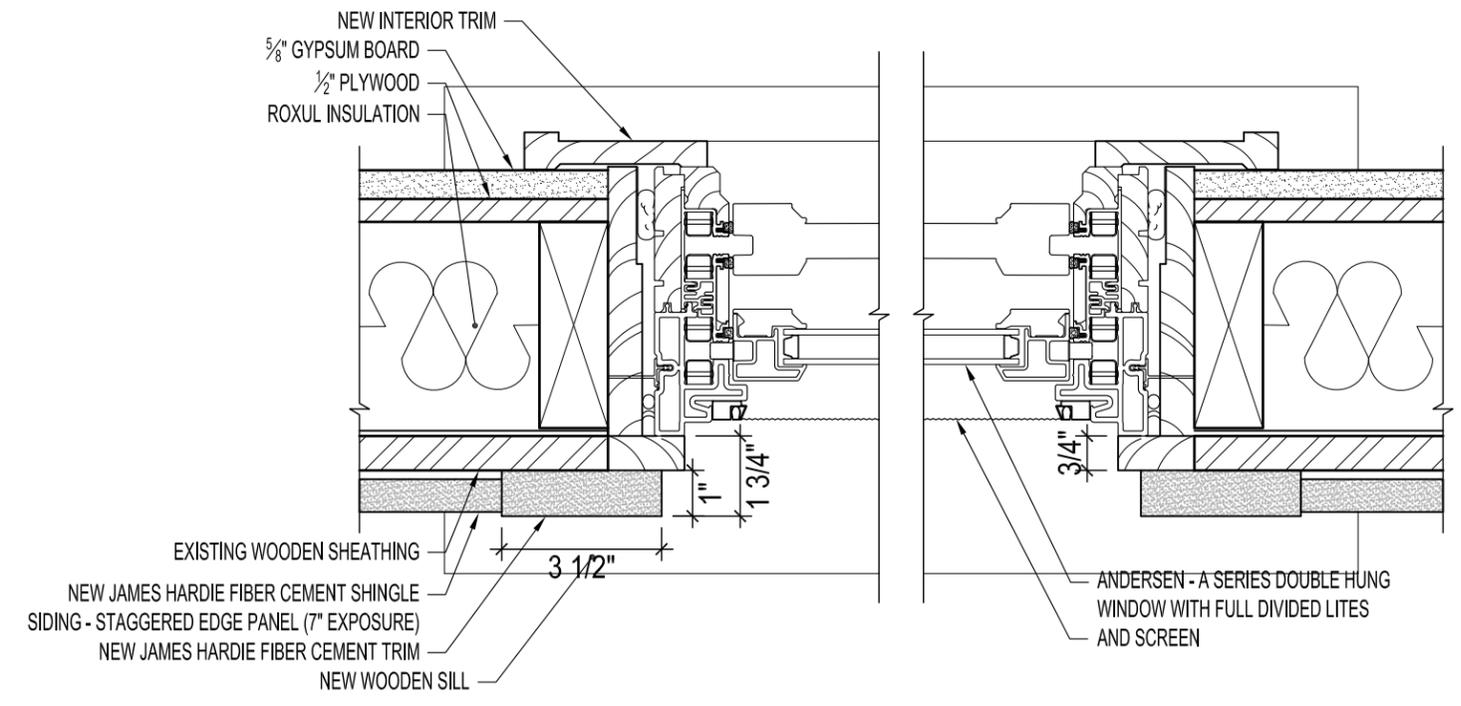
DATE: 7.20.2015

DWG. #:

**A-703.00**  
SHEET 31 OF 48



**1** EXISTING WINDOW DETAIL  
SCALE: 3" = 1'-0"



**2** PROPOSED DOUBLE HUNG WINDOW - SECTION  
SCALE: 3" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
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BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

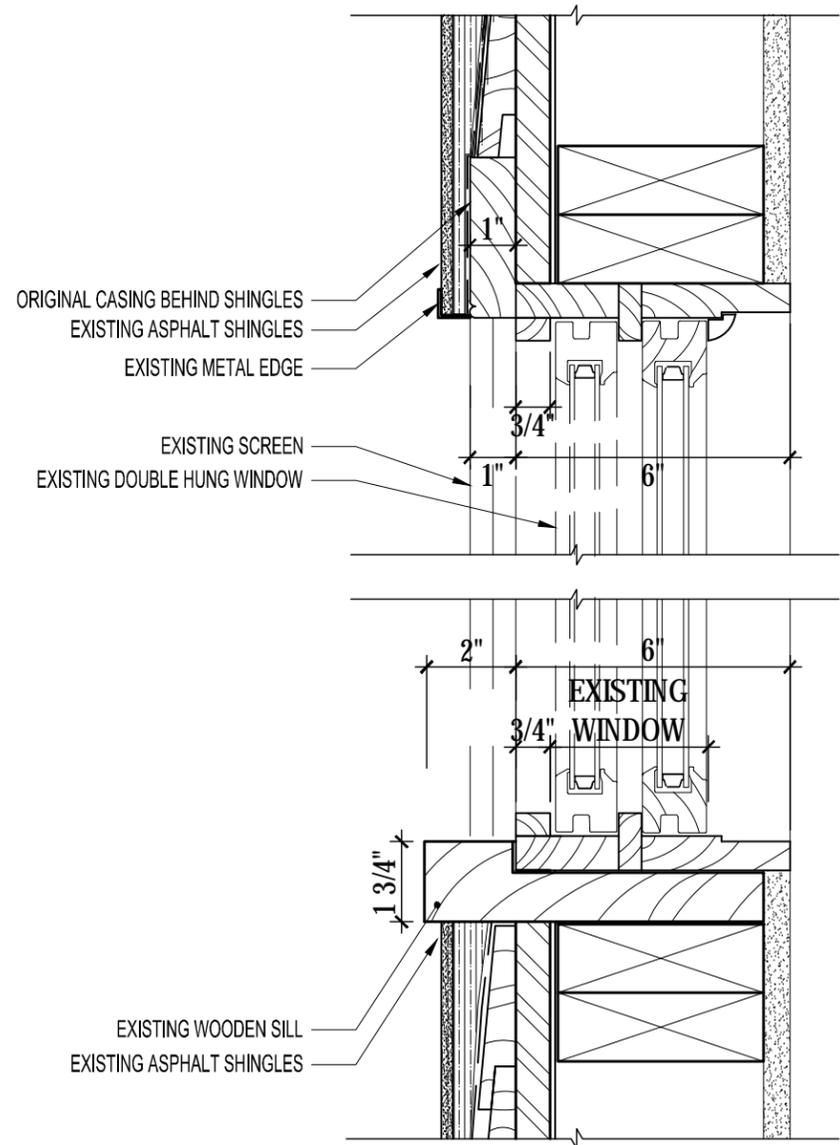
DWG. TITLE:  
**TYPICAL WINDOW  
DETAILS**

SCALE: 3" = 1'-0"

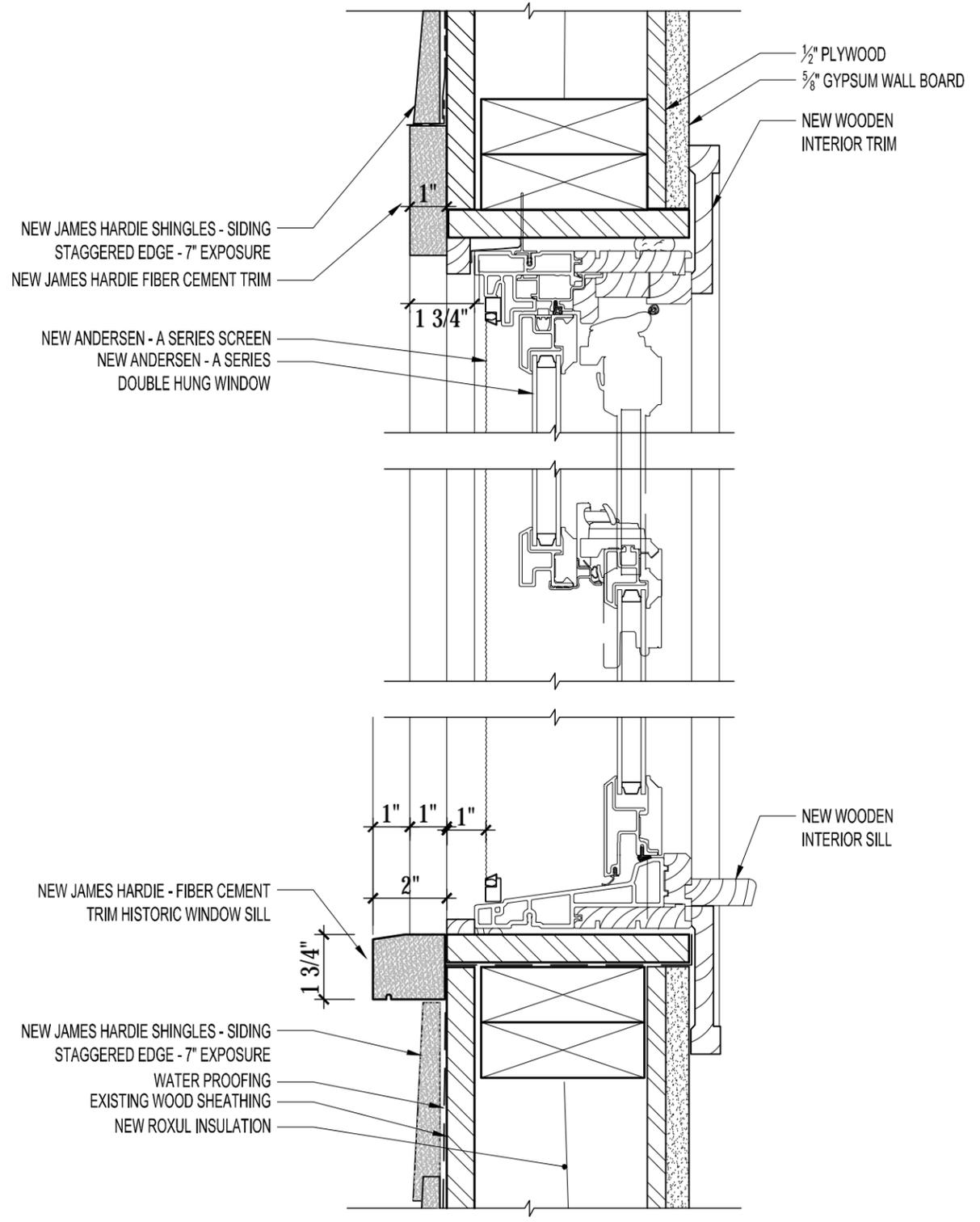
DATE: 7.20.2015

DWG. #:

**A-704.00**  
SHEET 32 OF 48



**1** EXISTING SILL/HEADER SECTION  
SCALE: 3" = 1'-0"



**2** PROPOSED SILL/HEADER SECTION  
SCALE: 3" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

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BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

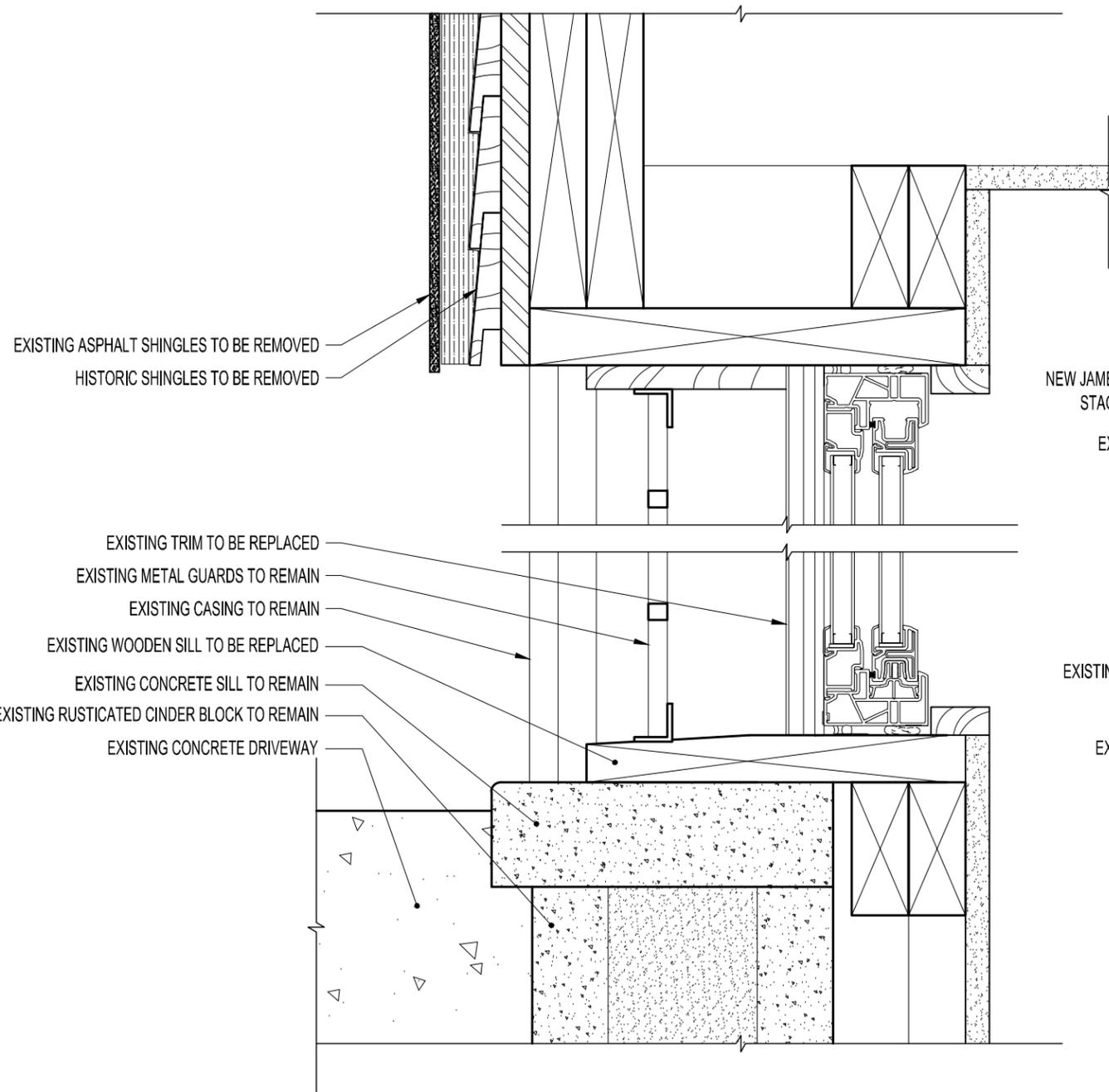
DWG. TITLE:  
**TYPICAL WINDOW  
DETAILS**

SCALE: 3" = 1'-0"

DATE: 7.20.2015

DWG. #:

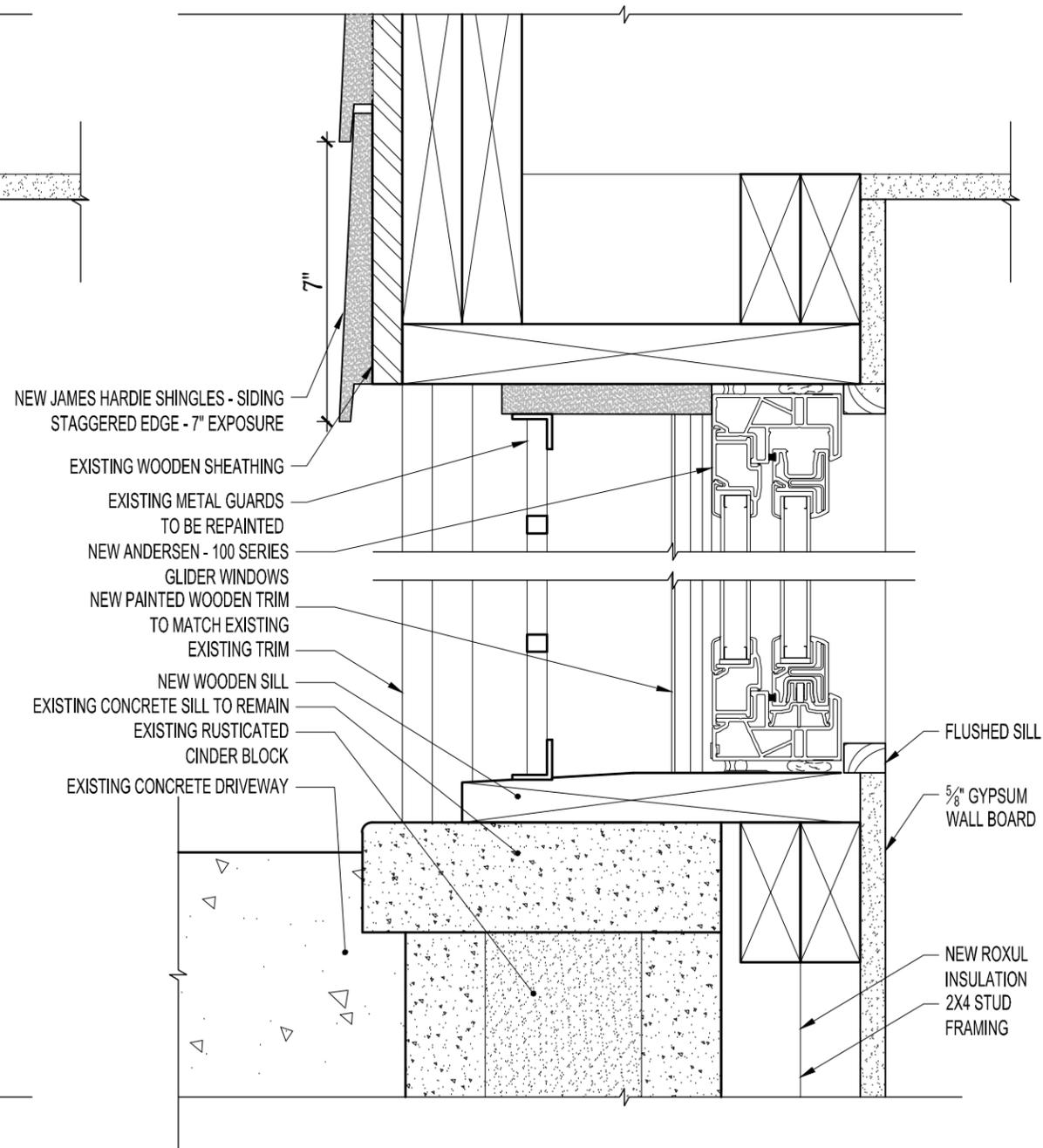
**A-705.00**  
SHEET 33 OF 48



EXISTING ASPHALT SHINGLES TO BE REMOVED  
 HISTORIC SHINGLES TO BE REMOVED

EXISTING TRIM TO BE REPLACED  
 EXISTING METAL GUARDS TO REMAIN  
 EXISTING CASING TO REMAIN  
 EXISTING WOODEN SILL TO BE REPLACED  
 EXISTING CONCRETE SILL TO REMAIN  
 EXISTING RUSTICATED CINDER BLOCK TO REMAIN  
 EXISTING CONCRETE DRIVEWAY

**1** EXISTING GLIDER WINDOW - HEADER AND SILL SECTION  
 SCALE: 3" = 1'-0"



NEW JAMES HARDIE SHINGLES - SIDING  
 STAGGERED EDGE - 7" EXPOSURE  
 EXISTING WOODEN SHEATHING  
 EXISTING METAL GUARDS  
 TO BE REPAINTED  
 NEW ANDERSEN - 100 SERIES  
 GLIDER WINDOWS  
 NEW PAINTED WOODEN TRIM  
 TO MATCH EXISTING  
 EXISTING TRIM  
 NEW WOODEN SILL  
 EXISTING CONCRETE SILL TO REMAIN  
 EXISTING RUSTICATED  
 CINDER BLOCK  
 EXISTING CONCRETE DRIVEWAY

FLUSHED SILL  
 5/8" GYPSUM  
 WALL BOARD  
 NEW ROXUL  
 INSULATION  
 2X4 STUD  
 FRAMING

**1** PROPOSED GLIDER WINDOW - HEADER AND SILL SECTION  
 SCALE: 3" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

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ISSUED FOR LPC REVIEW

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 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

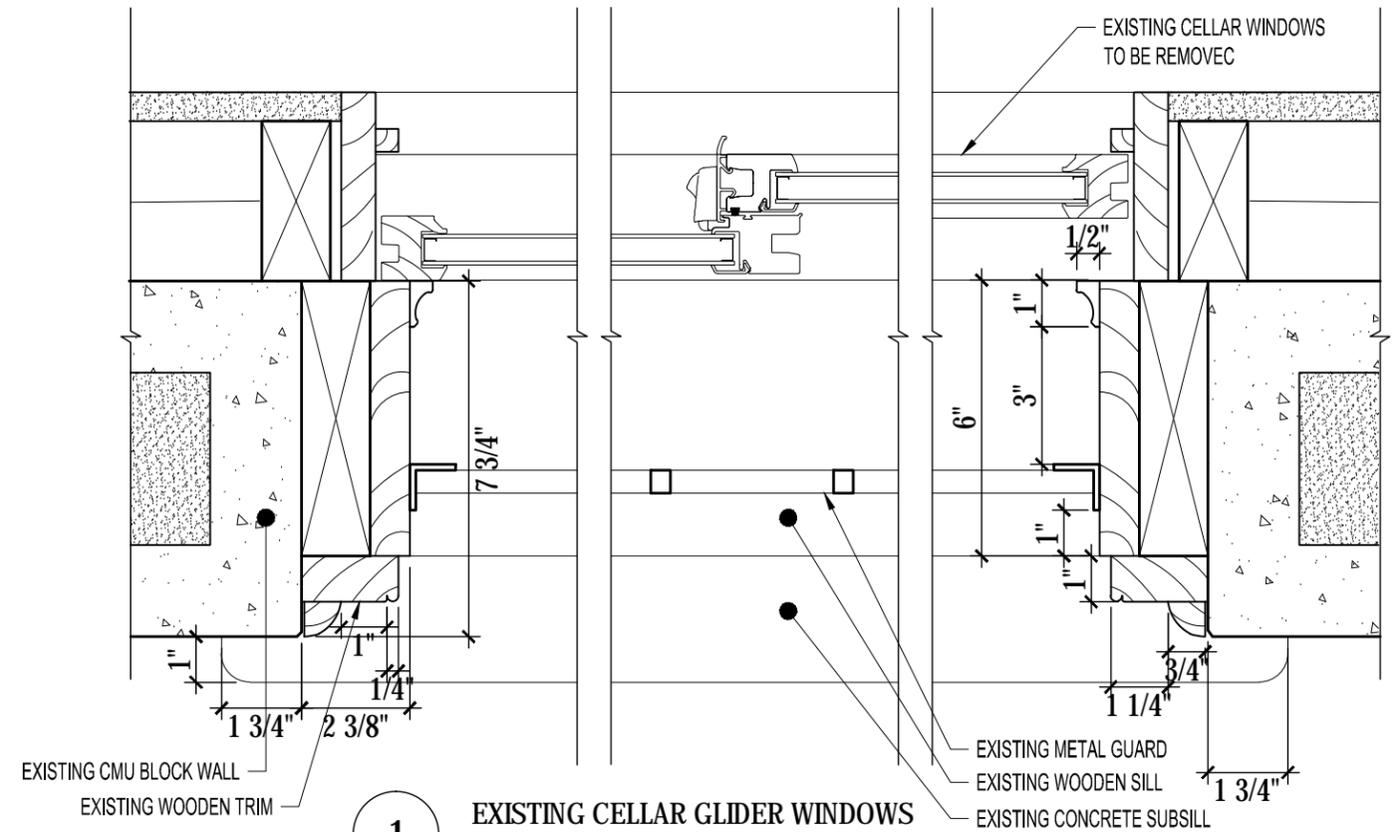
DWG. TITLE:  
**TYPICAL WINDOW  
 DETAILS**

SCALE: 3" = 1'-0"

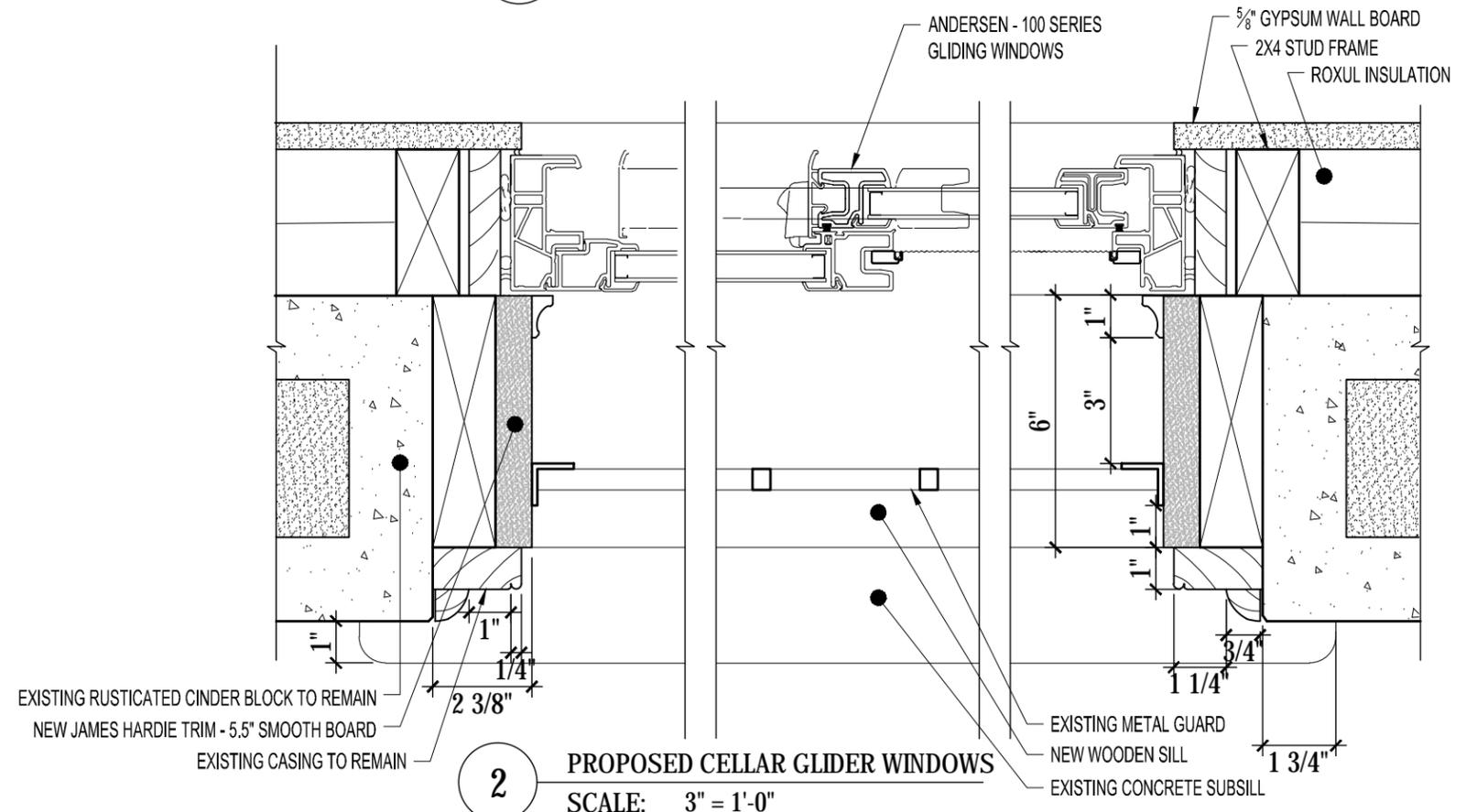
DATE: 7.20.2015

DWG. #:

**A-706.00**



**1** EXISTING CELLAR GLIDER WINDOWS  
SCALE: 3" = 1'-0"



**2** PROPOSED CELLAR GLIDER WINDOWS  
SCALE: 3" = 1'-0"

REVISIONS:

Number	Date
N-PLUS ARCHITECTURE & DESIGN	

**N-PLUS ARCHITECTURE & DESIGN**  
 68 JAY STREET  
 UNIT NO. 306  
 BROOKLYN, NY 11201  
 TEL: 718-858-4018  
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**RSVP ARCHITECTURE STUDIO**  
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ISSUED FOR LPC REVIEW

OWNER:  
 MICHELLE ADAMS & LAURA NELSON  
 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**TYPICAL WINDOW  
 DETAILS**

SCALE: 3" = 1'-0"

DATE: 7.20.2015

DWG. #:

**A-707.00**  
 SHEET 35 OF 48

HardieTrim® Boards  
**5/4 NT3® SMOOTH**

**THICKNESS:** 1"  
**LENGTH:** 144" boards  
**WIDTHS:** 11.25" | 3.5" | 4.5" | 5.5"  
 7.25" | 9.25"\* | 9.25"

\*Sizes/exposures not available in ColorPlus® Technology, only primed.



HardieTrim® Boards  
**5/4 NT3® SMOOTH**

5/4 NT3® Smooth is available in 9 ColorPlus® Technology finishes or primed for paint.



1 JAMES HARDIE TRIM BOARD- SMOOTH (FLAT FIBER CEMENT TRIM)  
 SCALE: 3" = 1'-0"

HardieTrim® Boards  
**HISTORIC SILL WINDOW PROFILE**

**THICKNESS:** 1.75"  
**LENGTH:** 192" boards  
**WIDTHS:** 1.93" | 2"



2 JAMES HARDIE HISTORIC SUB SILL (FIBER CEMENT)  
 SCALE: 3" = 1'-0"

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
 UNIT NO. 306  
 BROOKLYN, NY 11201  
 TEL: 718-858-4018  
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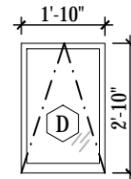
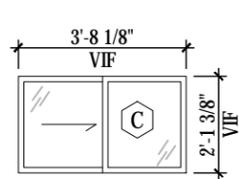
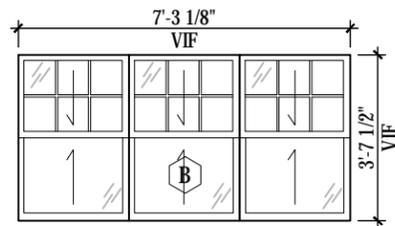
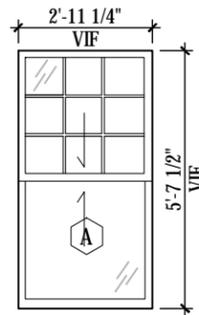
OWNER:  
 MICHELLE ADAMS & LAURA NELSON  
 214 PARK PLACE, #3  
 BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
 211 FENIMORE ST  
 BROOKLYN, NY 11225

DWG. TITLE:  
**TYPICAL WINDOW TRIMS SPEC**

SCALE: NTS  
 DATE: 7.20.2015

DWG. #:  
**A-708.00**  
 SHEET 36 OF 48



**1** WINDOW TYPES  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE												
WINDOW #	TYPE	SIZE	LOCATION	MANUFACTURER	PRODUCT	EXTERIOR	INTERIOR	HARDWARE	FINISH	GLASS	DIVIDED LITES	SCREEN
1	A	1'-11" x 5'-10 7/8" V.I.F.	1ST FLOOR LIVING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
2	A	3'-11" x 5'-10 7/8" V.I.F.	1ST FLOOR LIVING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
3	A	1'-11" x 5'-10 7/8" V.I.F.	1ST FLOOR LIVING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
4	A	2'-5 1/2" x 5'-2 3/8" V.I.F.	FOYER	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
5	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	FOYER	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
6	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	KITCHEN	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
7	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	KITCHEN	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
8	A	2'-5 1/2" x 5'-2 3/8" V.I.F.	KITCHEN	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
9	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	DINING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
10	A	2'-5 1/2" x 5'-2 3/8" V.I.F.	DINING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
11	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	DINING ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
12	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	OFFICE #1	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
13	A	2'-5 1/2" x 5'-2 3/8" V.I.F.	OFFICE #1	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
14	A	1'-6 1/8" x 5'-2 3/8" V.I.F.	OFFICE #1	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
15	A	2'-5 1/2" x 5'-2 3/8" V.I.F.	2ND FLR HALLWAY	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
16	A	2'-11" x 3'-4" V.I.F.	2ND FLR STAIR	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
17	A	2'-5" x 4'-2" V.I.F.	MASTER BATH	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
18	A	2'-5" x 4'-8 7/8" V.I.F.	MASTER BATH	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
19	A	2'-11" x 5'-5 7/8" V.I.F.	MASTER CLOSET	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
20	A	2'-11" x 5'-5 7/8" V.I.F.	MASTER CLOSET	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
21	A	2'-11" x 4'-11" V.I.F.	MASTER BEDROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
22	A	2'-11" x 4'-11" V.I.F.	MASTER BEDROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
23	A	2'-11" x 4'-11" V.I.F.	OFFICE #2	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
24	A	2'-11" x 4'-11" V.I.F.	OFFICE #1	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
25	B	7'-0 1/2" x 3'-7" V.I.F.	BEDROOM #2	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
26	A	2'-5" x 3'-10 1/2" V.I.F.	BEDROOM #2	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
27	A	2'-11" x 3'-11 1/2" V.I.F.	3RD FLR HALLWAY	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
28	A	2'-11" x 3'-11 1/2" V.I.F.	BATH #2	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
29	A	2'-11" x 3'-11 1/2" V.I.F.	BEDROOM #3	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
30	C	2'-7" x 1'-2" V.I.F.	MEDIA ROOM	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
31	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
32	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
33	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
34	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
35	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
36	C	2'-7" x 2'-2" V.I.F.	CELLAR	ANDERSEN	ANDERSEN - 100 SERIES GLIDER WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN - 100 SERIES LOCK AND KEEPER +SASH HANDLE	WHITE	LOW-E CLASS	NONE	YES
37	A	2'-11" x 4'-11" V.I.F.	OFFICE #1	ANDERSEN	ANDERSEN - A SERIES - DOUBLE HUNG WINDOW WITH DIVIDED LITES	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES DOUBLE HUNG LOCK	OIL RUBBED BRONZE	LOW-E CLASS	FULL DIVIDED LITES	YES
38	D	1'-10" x 2'-10"	GARAGE	ANDERSEN	ANDERSEN - A SERIES AWNING WINDOW	CLAD-WOOD COLOR-WHITE	SHOP-PRIMED FIELD PAINTED	ANDERSEN A-SERIES - CONTEMPORARY FOLDING	ANTIQUE BRASS	LOW-E CLASS	NONE	YES

REVISIONS:

Number Date

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ISSUED FOR LPC REVIEW

OWNER:  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**WINDOW SCHEDULE**

SCALE: SEE AS NOTED

DATE: 7.20.2015

DWG. #:

**A-800.00**  
SHEET 37 OF 48

# WINDOWS

## FEATURES

### CASEMENT & AWNING

#### Frame

**A** Frame constructed with a wood core and a Fibrex® composite exterior material. This construction produces a rigid frame and a low-maintenance durable exterior.

**B** Wood members are treated with a water-repellent preservative for long-lasting\* protection and performance.

**C** The weatherstripping system combines an exterior watershed design and a foam weatherstrip seal between the sash and frame, providing a long-lasting, energy-efficient barrier against wind, water and dust.

**D** A factory-applied rigid vinyl flange helps seal the unit to the structure. Available in a standard design or in a trim flange design. The trim flange allows for Andersen® exterior trim surrounds to be applied in seconds after window installation.

#### Sash

**E** Fiberglass construction provides durable, strong and long-lasting\*\* performance. Finished with a Flexacron® paint system. This stabilized polyester paint is electrostatically applied for maximum protection and a lustrous, low-maintenance finish.

Traditional architectural style:

- Classic chamfer detailing
- The look of mortise-and-tenon joinery
- Tall bottom rail on casement window aligns with double-hung and picture windows for common sight lines

**F** Natural wood interiors are treated with a water-repellent preservative for long-lasting\* protection and performance. Interior stops are fastened using a nailless compression fit system so there are no nail holes to fill. Stops are available prefinished.



#### High-Performance Glass



See page 25 for details.

#### Hardware

Smooth operation provided by a worm gear drive design makes opening and closing almost effortless regardless of unit size. Also available with an optional split-arm operator that moves the sash away from the frame for easier glass cleaning (not available on all sizes).



Single-action lock easily releases all locking points on casement sash while the reach-out action eliminates binding when closing. The lock bezel and handle are offered in finishes that coordinate with your specified hardware style.

Awning windows feature dual sash locks. Hardware style and finish options are compatible with Andersen casement windows to ensure consistency in appearance when used in combination designs.

### DOUBLE-HUNG

#### Frame

**A** Frame constructed with a wood core and a Fibrex® composite exterior material. This construction produces a rigid frame and a low-maintenance, durable exterior.

**B** Wood members are treated with a water-repellent preservative for long-lasting\* protection and performance.

**C** The dual weatherstripping system utilizes a double foam-filled design that creates a pressure equalization chamber, knocking down driving rain and delivering a long-lasting, energy-efficient barrier against wind, water and dust.

**D** Traditional sloped sill design.

**E** For units with White exterior, exterior jamb liner is White. For all other exterior colors, the exterior jamb liner is Sandstone.

**F** A factory-applied rigid vinyl flange helps seal the unit to the structure. Available in a standard design or in a trim flange design. The trim flange allows for Andersen exterior trim surrounds to be applied in seconds after window installation.

#### Sash

**E** Fiberglass construction provides durable, strong and long-lasting\*\* performance. Finished with a Flexacron paint system. This stabilized polyester paint is electrostatically applied for maximum protection and a lustrous, low-maintenance finish.

Traditional architectural style:

- Classic chamfer detailing
- The look of mortise-and-tenon joinery
- Tall bottom rail on double-hung window aligns with casement and picture windows for common sight lines



**H** Natural wood interiors are treated with a water-repellent preservative for long-lasting protection and performance.

#### Cottage-Style Units Also Available



#### High-Performance Glass



See page 25 for details.



Traditional spoon and keeper lock design has an easy *Tilt to Clean* feature integrated into the lock.

# Andersen

## FEATURES

### GLIDING WINDOWS

#### Frame

**A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.

**B** A low-maintenance interior and exterior never needs painting and won't fade, flake, blister, chalk or peel.\*

**C** Three flange options include:  
 • 1 3/4" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.  
 • 1" (25) flange setback with stucco key.  
 • No-flange option for use as an insert/replacement window.

#### Sash

The operating sash has a meeting stile cover with a unique raised profile design, allowing the sash to be opened and closed easily.

**D** Fibrex material construction provides long-lasting performance.\* The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.

**E** Dual-felt weatherstripping provides a long-lasting\*\* energy-efficient barrier against wind, water and dust.

**F** Operating sash has four metal rollers mounted at the bottom of the sash for easy, smooth travel over the sill.

#### Glass

**G** A glazing bead and silicone provide superior weatherlightness and durability.



#### Glass options include:

- Low-E SmartSun™ glass
- Low-E SmartSun glass with HeatLock™ technology
- Low-E glass
- Low-E glass with HeatLock technology
- Dual-pane glass

#### Hardware

Gliding window sash lock engages automatically when operable sash is closed.

#### Insect Screens

Frames are available in colors to match product exteriors. Stainless steel springs hold the insect screen tightly to the window frame. Insect screens have gray fiberglass screen cloth.

#### Optional TruScreen® Insect Screen

Exclusive Andersen® TruScreen® insect screens provide over 50% more clarity than our conventional insect screen for a beautiful unobstructed view. They allow more fresh air and sunlight in, while doing a better job of keeping out small insects.

### PICTURE & SPECIALTY WINDOWS

#### Frame

**A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.

**B** A low-maintenance interior and exterior never needs painting and won't fade, flake, blister, chalk or peel.\*

**C** Three flange options include:  
 • 1 3/4" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.  
 • 1" (25) flange setback with stucco key.  
 • No-flange option for use as an insert/replacement window.

#### Glass

**D** The glass is direct-set into the frame for superior weatherlightness and durability.

#### Glass options include:

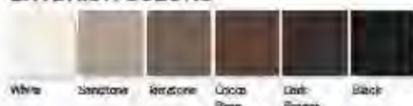
- Low-E SmartSun™ glass
- Low-E SmartSun glass with HeatLock™ technology
- Low-E glass
- Low-E glass with HeatLock technology
- Dual-pane glass



#### Shapes

Arch, Springline™ half circle, quarter circle and rectangular shapes are available in many sizes.

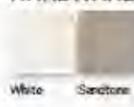
### EXTERIOR COLORS



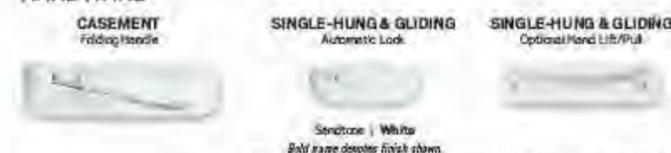
### INTERIOR COLORS



### HARDWARE COLORS



### HARDWARE



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) or contact your Andersen supplier for details. Dimensions in parentheses are in millimeters.

Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples. 17

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) or contact your Andersen supplier for details on the A-Service Limited Warranty.

Dimensions in parentheses are in millimeters.

\*\*Flexacron™ is a registered trademark of PPG Industries, Inc.

### REVISIONS:

Number	Date
--------	------

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ISSUED FOR LPC REVIEW

OWNER:  
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214 PARK PLACE, #3  
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PROJECT LOCATION:  
211 FENIMORE ST  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
WINDOW  
SPECIFICATION

SCALE: NTS

DATE: 7.20.2015

DWG. #:

A-801.00  
SHEET 38 OF 48

GRILLES

A-SERIES

GRILLE WIDTHS (ACTUAL SIZE SHOWN)

Shown: Cross sections of grilles showing standard widths and profiles.



Our 2 1/4\"/>

GRILLE CONFIGURATIONS

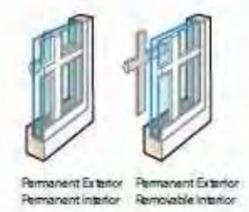
FULL DIVIDED LIGHT

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass.



SIMULATED DIVIDED LIGHT

Simulated divided light offers permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles, available in natural wood or prefinished white.



CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles are installed between the glass panes and feature a contoured 3/4\"/>



Dimensions in parentheses are in millimeters. \*3/4\"/>

A-SERIES

**COMPLETE ALIGNMENT**  
Common sight lines allow you to specify any combination of window styles and still have them match and align perfectly.

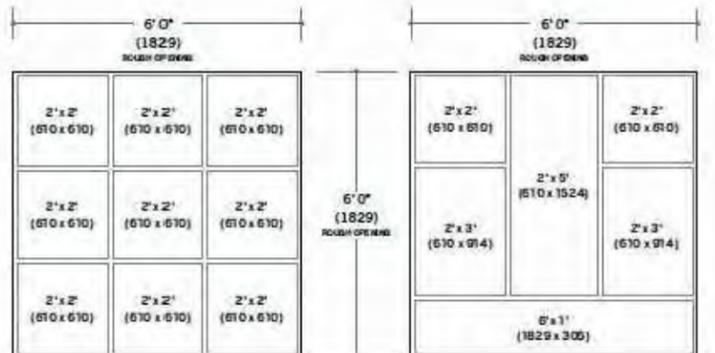


Windows share the same sash design, grille profiles and frame depth for consistent beauty with classic appeal.



EASY MATH

The A-Series window and door system simplifies selection and installation of multiple windows within a single rough opening. 3/4-inch (19) horizontal and vertical joints keep sizing consistent no matter how many or what size windows you combine. The sum of your window sizes always equals your rough opening.



The spacing in these illustrations is exaggerated for demonstration purposes.

Dimensions in parentheses are in millimeters.

REVISIONS:

--	--

Number \_\_\_\_\_ Date \_\_\_\_\_

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**211 FENIMORE ST**  
211 FENIMORE ST  
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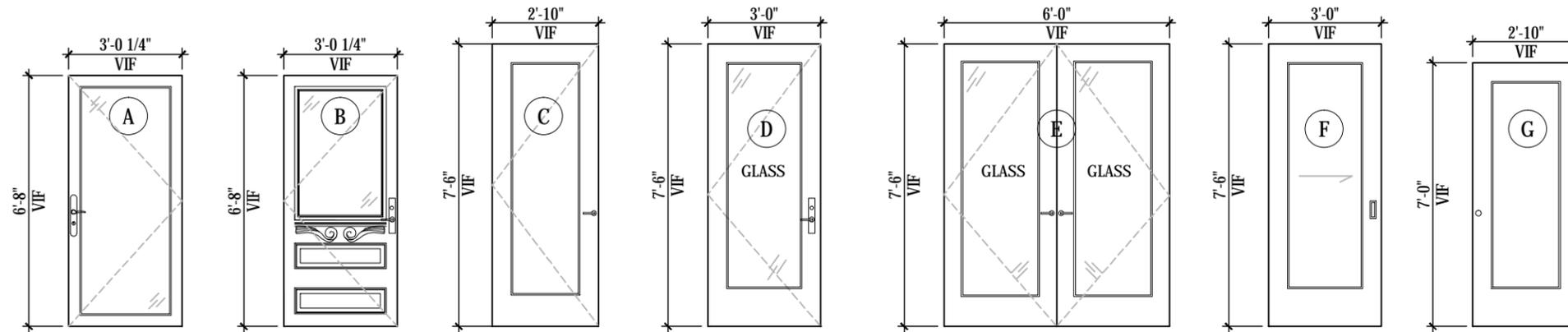
DWG. TITLE:  
**WINDOW SPECIFICATION**

SCALE: NTS

DATE: 7.20.2015

DWG. #:

**A-802.00**  
SHEET 39 OF 48



**1** DOOR TYPES  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
DOOR #	LOCATION	TYPE	NEW OR EXIST. DOOR	SIZE	MANUFACTURER/ PRODUCT	MATERIAL	FINISH	HARDWARE	HAND
1	ENTRANCE	A	NEW	6'-8" x 3'-0"	ANDERSEN - FULL VIEW STORM DOOR WITH DUAL-PANE INSULATING GLASS	GLASS AND WOOD	GLASS + PT-2, PAINTED	ANDERSEN - TRADITIONAL OIL RUBBED BRONZE	RIGHT HAND REVERSE
2	ENTRANCE	B	EXISTING	6'-8" x 3'-2"		WOOD	SCRAPPED AND REFINISHED	TBD	RIGHT HAND
3	FOYER	B	EXISTING	6'-8" x 3'-2"		WOOD	SCRAPPED AND REFINISHED	TBD	RIGHT HAND
4	1ST FLOOR HALL	A	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	LEFT HAND REVERSE
5	1ST FLOOR POWDER ROOM	A	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
6	1ST FLOOR - REAR DOOR	D	NEW	7'-0" x 3'-0"	TBD	WOOD	GLASS + PT-2, PAINTED	TBD	LEFT HAND REVERSE
7	OMIT								
8	OFFICE #1	E	NEW	7'-0" x 6'-0"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT + LEFT HAND
9	OFFICE #2	E	NEW	7'-0" x 6'-0"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT + LEFT HAND
10	2ND FLR CLOSET	C	NEW	7'-6" x 2'-0"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND REVERSE
11	MASTER BEDROOM	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
12	MASTER BATHROOM	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
13	OFFICE #1 CLOSET	C	EXISTING	6'-11" x 1'-10"	TBD	WOOD	PT-2, PAINTED	TBD	LEFT HAND REVERSE
14	OMIT								
15	OFFICE #2 CLOSET	C	NEW	6'-11" x 1'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND REVERSE
16	3RD FLOOR BEDROOM #2	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	LEFT HAND
17	3RD FLOOR BEDROOM #3	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
18	3RD FLOOR BATH #2	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
19	3RD FLOOR BATH #3	C	NEW	7'-6" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND
20	CELLAR REAR	C	NEW	7'-0" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	LEFT HAND
21	CELLAR POWDER ROOM	C	NEW	7'-0" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT HAND REVERSE
22	CELLAR LAUNDRY ROOM	C	NEW	7'-0" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	LEFT HAND SLIDING
23	BOILER ROOM	G	NEW	7'-0" x 2'-10"	NEW YORK FIRE DOOR, 1.5 HR RATED H.M. DOOR	METAL	PT-2, PAINTED	TBD	RIGHT HAND REVERSE
24	CELLAR CLOSET	C	NEW	7'-0" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT + LEFT HAND REVERSE
25	CELLAR CLOSET	C	NEW	7'-0" x 2'-10"	TBD	WOOD	PT-2, PAINTED	TBD	RIGHT + LEFT HAND REVERSE

\* DOORS IN GOOD CONDITION TO BE SCRAPPED CLEAN AND REPAINTED

REVISIONS:

Number \_\_\_\_\_ Date \_\_\_\_\_

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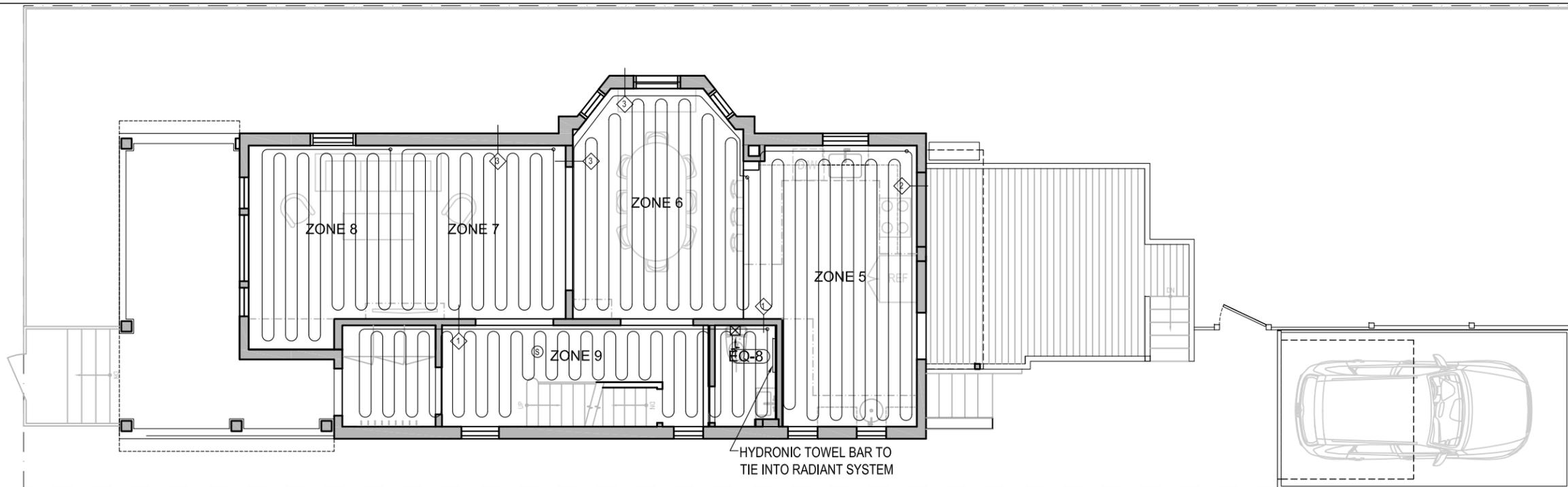
DWG. TITLE:  
**DOOR SCHEDULE**

SCALE: 1/4" = 1'-0"

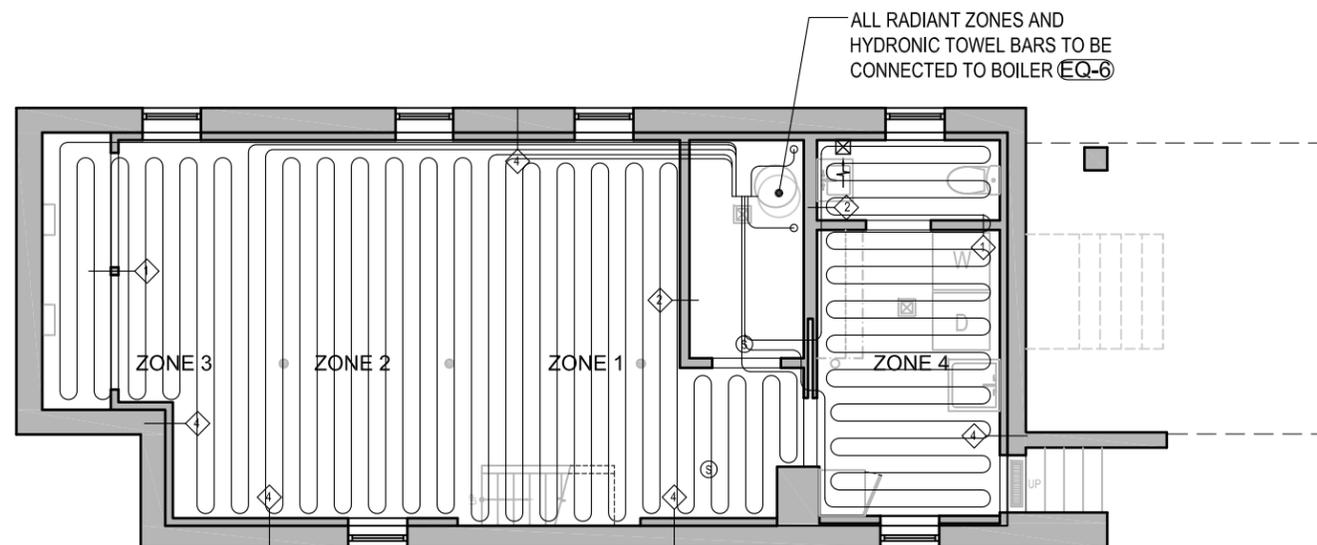
DATE: 7.20.2015

DWG. #:

**A-803.00**  
SHEET 40 OF 48



1 FIRST FLOOR RADIANT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 CELLAR RADIANT FLOOR PLAN  
SCALE: 1/8" = 1'-0"

RADIANT FLOOR SYSTEM - SCHEDULE		
ZONE #	MANUFACTURER	SYSTEM
ZONE 1	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 2	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 3	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 4	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 5	UPONOR	JOIST HEATING USING JOIST TRAK PANEL
ZONE 6	UPONOR	JOIST HEATING USING JOIST TRAK PANEL

HEATING APPLIANCES - SCHEDULE		
EQUIPMENT #	MANUFACTURER	MODEL
EQ-6	AO - SMITH	GPHE-50
EQ-7	RUNTAL RADIATORS	BASEBOARD RADIATOR UF-2
EQ-8	RUNTAL RADIATORS	OMNIPANEL HYDRONIC - TW-9
EQ-9	RUNTAL RADIATORS	NEPTUNE HYDRONIC - NTR-3320

REVISIONS:

Number	Date

N-PLUS ARCHITECTURE & DESIGN

68 JAY STREET  
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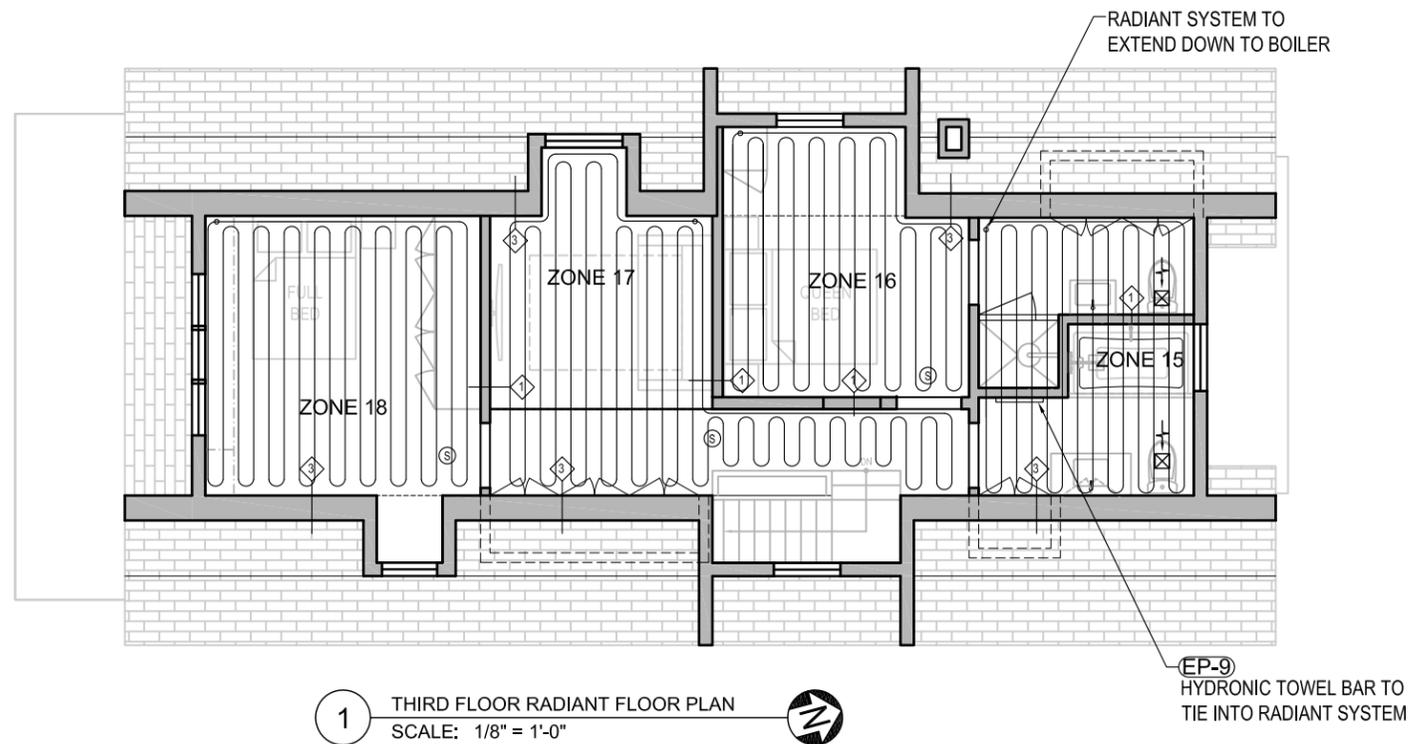
OWNER:  
MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**CELLAR AND 1ST FLR  
RADIANT FLR PLAN**

SCALE: 1/8" = 1'-0"  
DATE: 7.20.2015

DWG. #:  
**P-000.00**  
SHEET 41 OF 48



RADIANT FLOOR SYSTEM - SCHEDULE		
ZONE #	MANUFACTURER	SYSTEM
ZONE 1	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 2	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 3	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 4	UPONOR	SLAB ON/BELOW GRADE WITH UNDERSLAB AND EDGE INSULATION
ZONE 5	UPONOR	JOIST HEATING USING JOIST TRAK PANEL
ZONE 6	UPONOR	JOIST HEATING USING JOIST TRAK PANEL

HEATING APPLIANCES - SCHEDULE		
EQUIPMENT #	MANUFACTURER	MODEL
EQ-6	AO - SMITH	GPHE-50
EQ-7	RUNTAL RADIATORS	BASEBOARD RADIATOR UF-2
EQ-8	RUNTAL RADIATORS	OMNIPANEL HYDRONIC - TW-9
EQ-9	RUNTAL RADIATORS	NEPTUNE HYDRONIC - NTR-3320

REVISIONS:

Number	Date

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BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**2ND AND 3RD FLR  
RADIANT FLR PLAN**

SCALE: 1/8" = 1'-0"  
DATE: 7.20.2015

DWG. #:  
**P-001.00**  
SHEET 42 OF 48

## GENERAL PLUMBING NOTES

1. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY SUPPORTS FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR THE INSTALLATION OF PLUMBING SYSTEMS.
2. THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL FIXTURES, AND ANY WALL MOUNTED DEVICES, ETC. SHALL BE DETERMINED FROM THE ARCHITECTURAL DRAWINGS.
3. THE PLUMBING SYSTEMS SHALL BE COMPLETE WITH ALL PIPES, FITTINGS, TRAPS, SUPPLIES, VALVES, HANGERS AND SUPPORTS, INSULATION, ETC. AND ALL OTHER ITEMS NECESSARY FOR COMPLETE, SATISFACTORY OPERATING AND APPROVED TYPE SYSTEM.
4. ALL ABOVE GROUND SOIL, WASTE AND VENT PIPING SHALL BE "NO-HUB" CAST IRON PIPE AND FITTINGS EXCEPT AS NOTED OTHERWISE.
5. DOMESTIC COLD WATER, HOT WATER AND HOT WATER CIRCULATION PIPE SHALL BE TYPE "L" HARD DRAWN, COPPER TUBING WITH WROUGHT BRONZE FITTINGS FOR 150 POUND WATER WORKING PRESSURE AND WITH JOINTS OF 95-5 (TIN-ANTIMONY) SOLDER. NO SOLDER CONTAINING LEAD IS PERMITTED.
6. PROPER PROVISIONS SHALL BE MADE FOR EXPANSION AND CONTRACTION OF ALL PIPES AND THE PIPING SHALL BE ARRANGED WITH ALL NECESSARY PIPE EXPANSION LOOPS AND SWING JOINTS.
7. ALL HORIZONTAL CAST IRON PIPING SHALL BE SUPPORTED ON FIVE (5) FOOT CENTERS AND AT ALL JOINTS. ALL HORIZONTAL SCREWED PIPING SHALL BE SUPPORTED BY HANGERS SPACED NOT OVER TEN(10) FEET APART. ALL BRANCHES SHALL HAVE SEPARATE HANGERS. HANGERS SHALL BE CLEVIS TYPE, CONSTRUCTED OF HEAVY BAR STEEL STOCK, WITH PROPER SIZE SUSPENSION ROD AND LOCKNUTS. WHERE PIPING IS SUPPORTED FROM THE FLOOR, PROVIDE ADJUSTABLE PIPE SADDLE SUPPORT WITH U-BOLT.
8. ALL HANGERS, RODS, BEAM CLAMPS, ETC. SHALL BE SHOP ZINC COATED.
9. ALL HORIZONTAL COPPER TUBING SHALL BE SUPPORTED BY HANGERS NOT OVER SIX (6) FEET APART FOR PIPING 1-1/4 INCH AND SMALLER AND NOT OVER TEN (10) FEET APART FOR PIPING 1-1/2 INCH AND LARGER. ALL BRANCHES SHALL HAVE SEPARATE HANGERS, HANGERS SHALL BE CLEVIS TYPE WITH COPPER BOTTOM SUPPORT. IF CHANNEL OF ANGLE IRON TRAPEZE HANGERS ARE USED, THE SPACE ON HANGERS FOR THE COPPER TUBING SHALL BE WRAPPED WITH LEAD SHIELDS TO ISOLATE TUBING.
10. COVER ALL HOT WATER AND HOT WATER RETICULATION PIPE WITH 1 INCH THICK AND ALL COLD WATER PIPE WITH ?? INCH THICK MANVILLE MICRO-LOK AP-T PLUS FIBER-GLASS INSULATION. FITTINGS AND VALVES SHALL BE INSULATED WITH MANVILLE ZESTON 2000 PVC INSULATED FITTING COVERS. INSTALL ALL INSULATION AS PER MANUFACTURERS RECOMMENDATIONS. ALL INSULATION MATERIAL SHALL COMPLY WITH THE NEW YORK BUILDING CODE REQUIREMENT OF A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPED RATING NOT TO EXCEED 50.
11. OPENINGS AROUND PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. SEALANT SHALL BE RATED FOR 3 HOURS.
12. ALL EXPOSED PIPING (PIPE, VALVES AND FITTINGS) SHALL BE CHROME PLATED OR AS SPECIFIED BY ARCHITECT.
13. FURNISH AND INSTALL STOP VALVES ON WATER PIPING TO ALL FIXTURES AND EQUIPMENT.
14. ALL WORK TO BE PERFORMED BY A LICENSED NYC PLUMBING CONTRACTOR.
15. PRIOR TO COMMENCING PLUMBING WORK, PLUMBING CONTRACTOR TO INSTALL NEW FLOOR SHUT OFF VALVE. INSTALLATION OF SHUT-OFF TO COORDINATED WITH THE BUILDING MANAGEMENT PRIOR TO COMMENCING. VALVE TO BE LOCATED SUCH THAT ALL WORK INDICATED ON DRAWINGS CAN PROCEED WITHOUT ADDITIONAL BUILDING SHUTDOWNS. VALVE TO BE ACCESSIBLE FROM AN ACCESS PANEL (PROVIDED BY G.C) - LOCATION TO BE DETERMINED IN THE FIELD AND APPROVED BY ARCHITECT.
16. UNLESS NOTED OTHERWISE, NEW PLUMBING FIXTURES ARE TO REUSE THE EXISTING ROUGH-INS. PLUMBING CONTRACTOR TO VERIFY CONDITION OF EXISTING ROUGH-IN'S PRIOR TO INSTALLING NEW FIXTURES TO VERIFY THAT THE EXISTING CONDITION IS ACCEPTABLE.

## PLUMBING BUILDING DEPT NOTES

1. THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT AND WATER DISTRIBUTION) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK AS CITED IN ARTICLE 16 AND REFERENCE STANDARD RS16-PLUMBING AND GAS PIPING.
2. THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH GENERAL PROVISIONS OF SECTION P101.0.
3. THE MATERIALS USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH SECTION P102.0.
4. EQUIPMENT HOOK-UP AND THE JOINING OF PIPING WILL BE IN FULL COMPLIANCE WITH SECTION P103.
5. THE INSTALLATION OF FIXTURES WILL BE IN FULL ACCORDANCE WITH SECTION P104.0.
6. TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH SECTION 105.0.
7. VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH THE FULL COMPLIANCE WITH SECTION P106.0.
8. THE WATER SUPPLY SYSTEMS OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL.
9. THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL COMPLIANCE WITH SECTIONS P108.0 AND P112.0.
10. THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION P109.0.
11. PROVIDE RESILIENT ISOLATORS FOR PIPING IN ACCORDANCE WITH PARAGRAPH C-26-1208.3, (B) 3 OF NEW YORK CITY BUILDING CODE.

### REVISIONS:

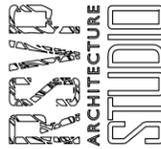
Number	Date

N-PLUS ARCHITECTURE & DESIGN



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### ISSUED FOR LPC REVIEW

#### OWNER:

MICHELLE ADAMS & LAURA NELSON  
214 PARK PLACE, #3  
BROOKLYN, NY 11238

#### PROJECT LOCATION:

**211 FENIMORE ST**

211 FENIMORE ST  
BROOKLYN, NY 11225

#### DWG. TITLE:

**PLUMBING GENERAL  
NOTES**

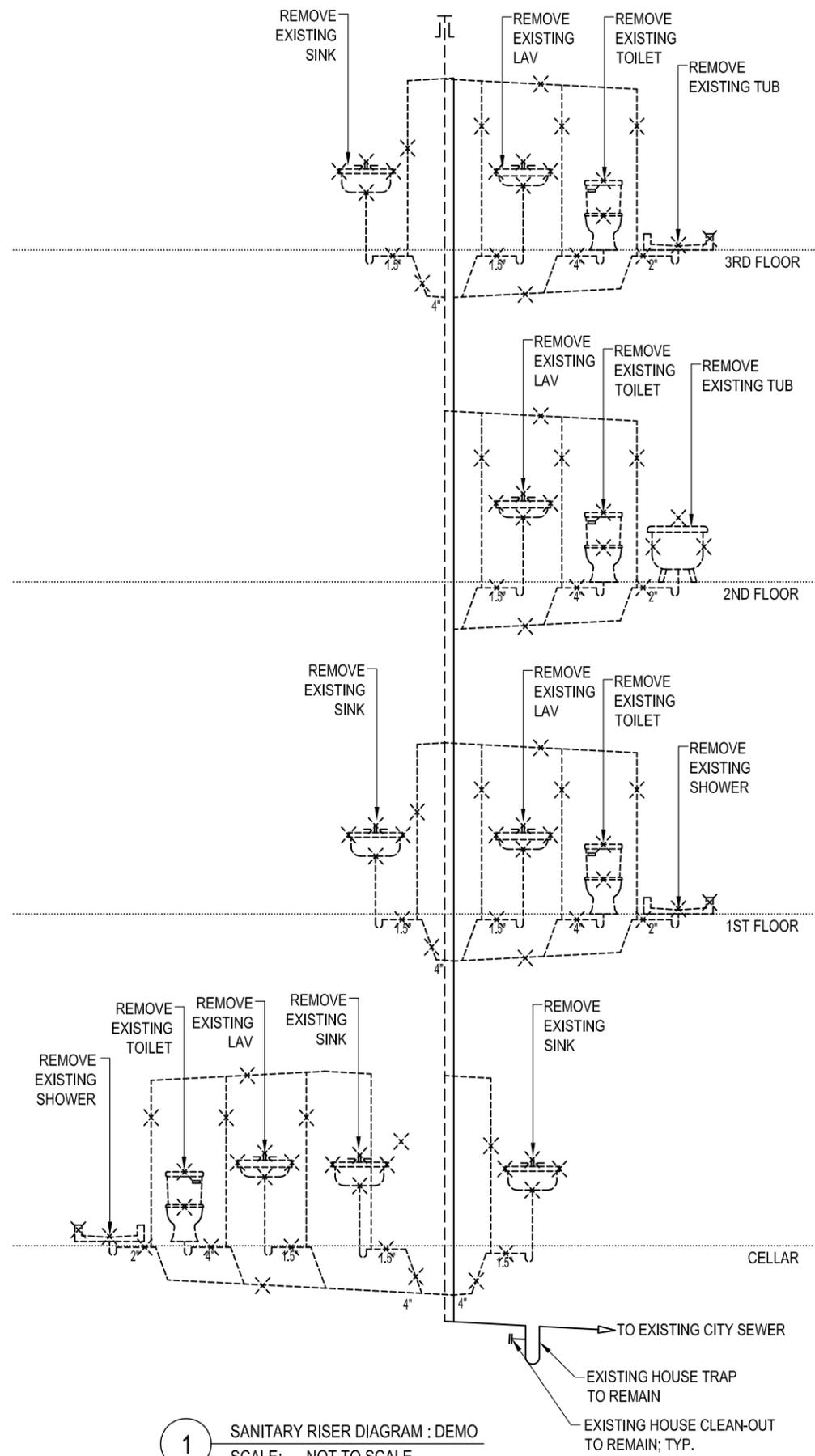
SCALE: NTS

DATE: 7.20.2015

DWG. #:

**P-100.00**

SHEET 43 OF 48



NOTE:  
ALL BRANCH PIPING (WASTE AND SUPPLY) TO BE REPLACED TO THE BUILDING RISER. NEW SHUT-OFF VALVES TO BE PROVIDED.

DRAWING LEGEND	
	EXISTING PLUMBING
	EXISTING PLUMBING TO BE REMOVED
	EXISTING GAS SUPPLY
	NEW GAS SUPPLY
	SHUT OFF VALVE

1 SANITARY RISER DIAGRAM : DEMO  
SCALE: NOT TO SCALE

REVISIONS:

Number	Date

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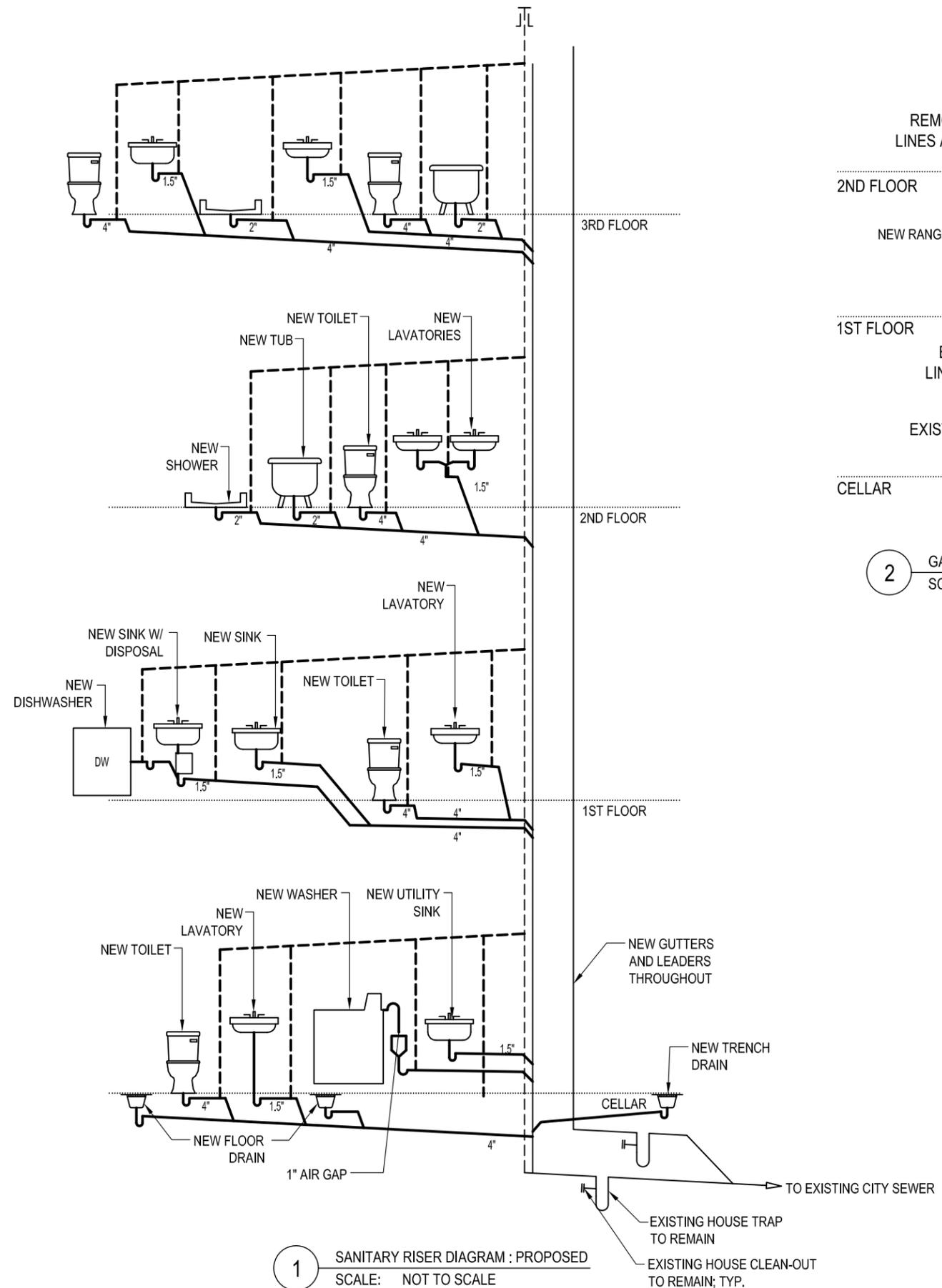
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BROOKLYN, NY 11238

PROJECT LOCATION:  
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211 FENIMORE ST  
BROOKLYN, NY 11225

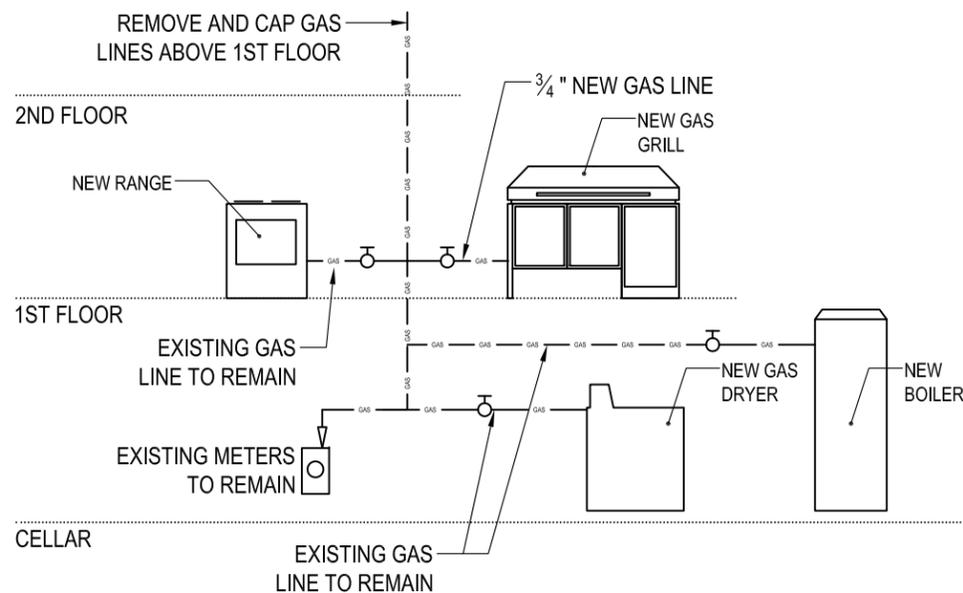
DWG. TITLE:  
**RISER DIAGRAM -  
DEMOLITION**

SCALE: NTS  
DATE: 7.20.2015

DWG. #:  
**P-101.00**  
SHEET 44 OF 48



1 SANITARY RISER DIAGRAM : PROPOSED  
SCALE: NOT TO SCALE



2 GAS RISER DIAGRAM : PROPOSED  
SCALE: NOT TO SCALE

NOTE:  
ALL BRANCH PIPING (WASTE AND SUPPLY) TO BE REPLACED TO THE BUILDING RISER. NEW SHUT-OFF VALVES TO BE PROVIDED.

DRAWING LEGEND	
	EXISTING PLUMBING
	NEW PLUMBING
	EXISTING PLUMBING TO BE REMOVED
	EXISTING GAS SUPPLY
	NEW GAS SUPPLY
	SHUT OFF VALVE

REVISIONS:

Number	Date

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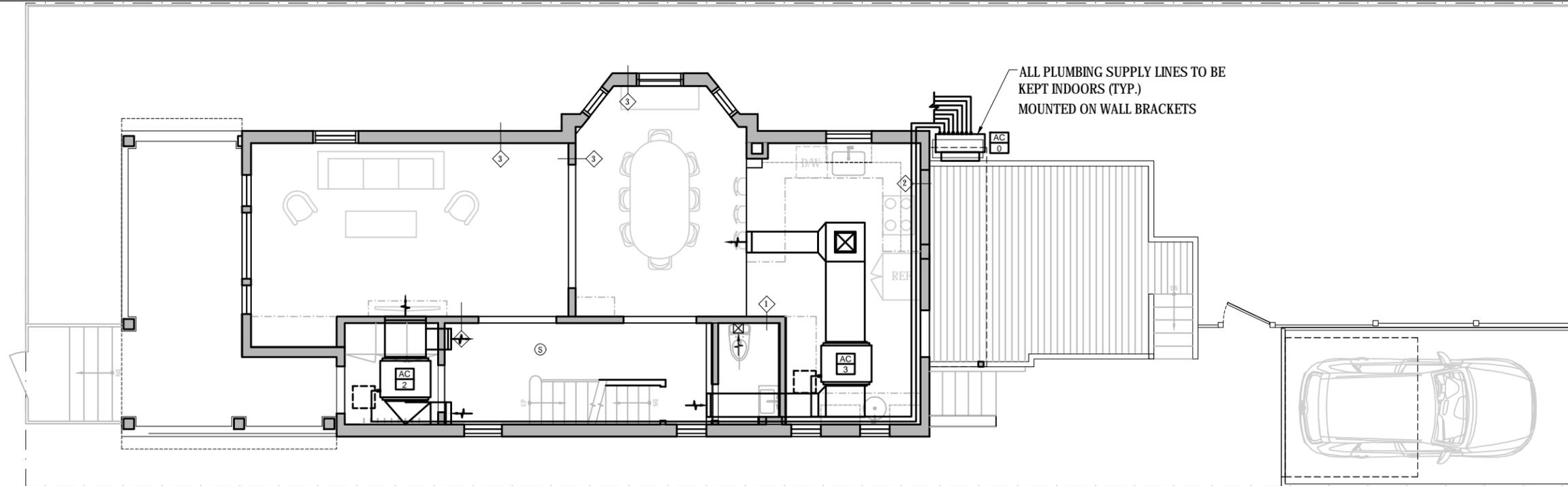
OWNER:  
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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
211 FENIMORE ST  
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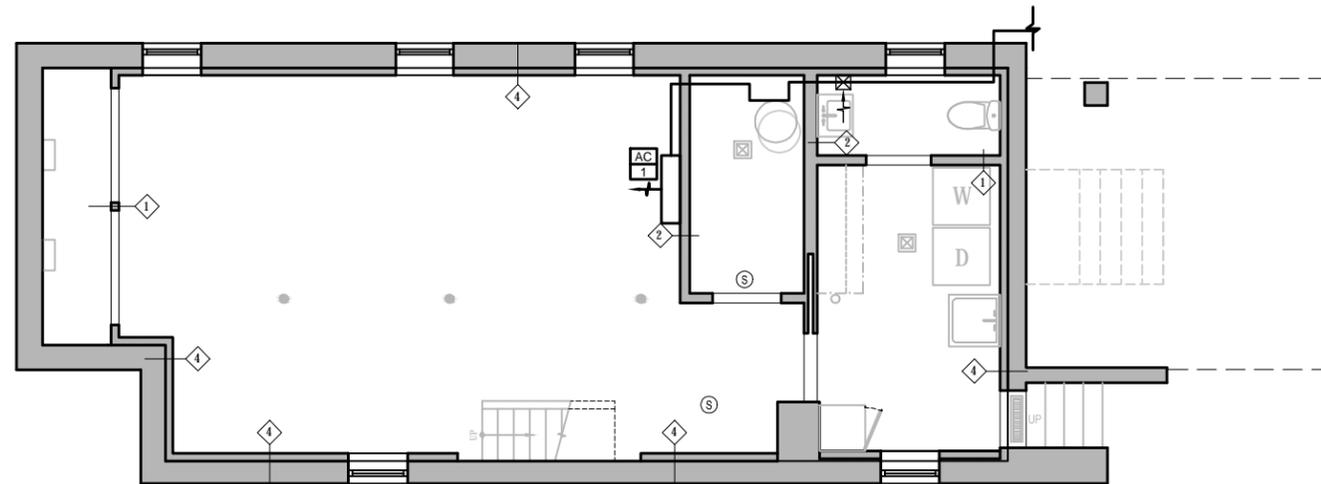
DWG. TITLE:  
**PLUMBING AND GAS DIAGRAMS**

SCALE: NTS  
DATE: 7.20.2015

DWG. #:  
**P-102.00**  
SHEET 45 OF 48



1 FIRST FLOOR MECHANICAL PLAN  
SCALE: 3/16" = 1'-0"



2 BASEMENT MECHANICAL PLAN  
SCALE: 3/16" = 1'-0"

SPLIT - SYSTEM SCHEDULE			
A/C UNIT	UNIT TYPE	MANUFACTURER	MODEL NO.
AC - 1	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 2	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 3	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 4	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 5	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 6	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 7	CONCEALED	MITSUBISHI	PVfy-P54E00A
AC - 8	CONCEALED	MITSUBISHI	PVfy-P54E00A
AC - 9	CONCEALED	MITSUBISHI	PLFY-P18NBMU-E
AC - 0	OUTDOOR CONDENSER	MITSUBISHI	PUMY-P60-NKMU

REVISIONS:

Number	Date
--------	------

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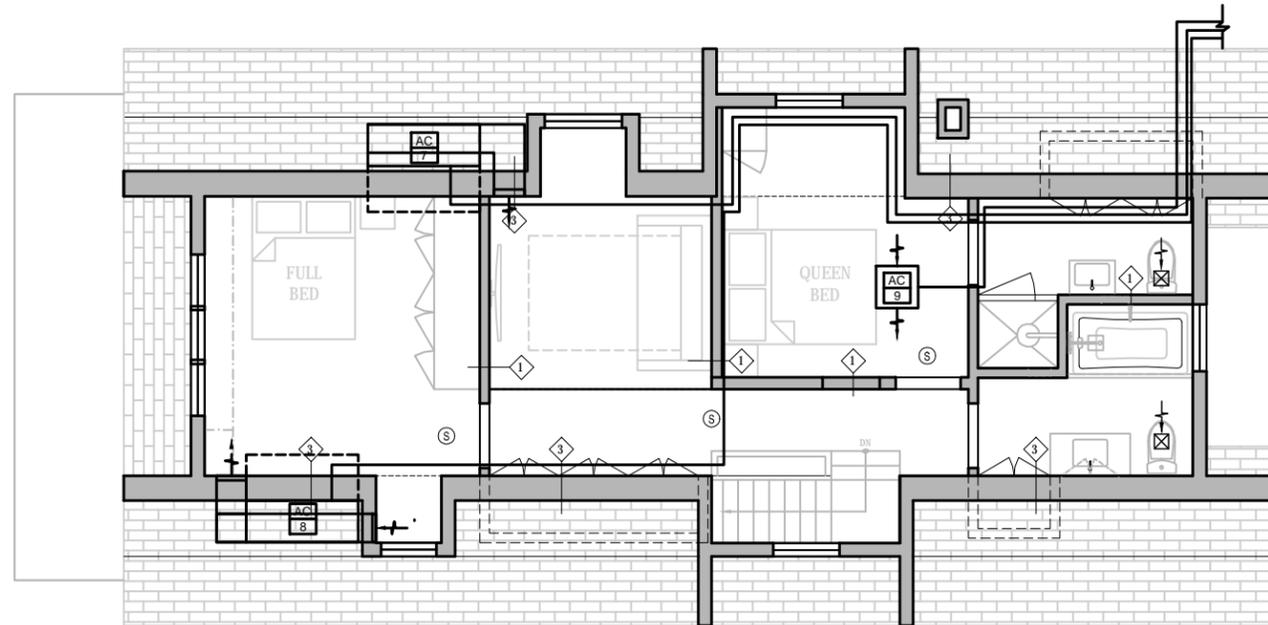
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PROJECT LOCATION:  
**211 FENIMORE ST**  
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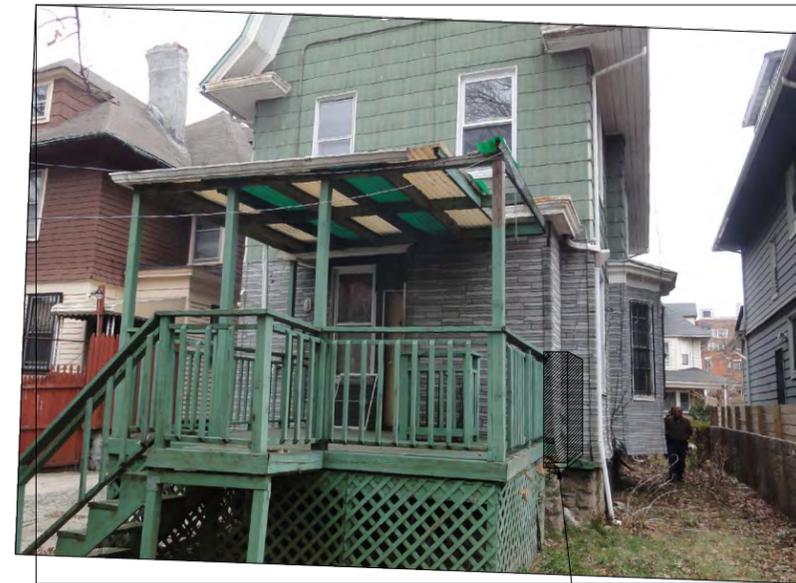
DWG. TITLE:  
**BASEMENT + FIRST FLOOR MECH. PLAN**

SCALE:  
DATE: 7.20.2015

DWG. #:  
**M-000.00**  
SHEET 46 OF 48

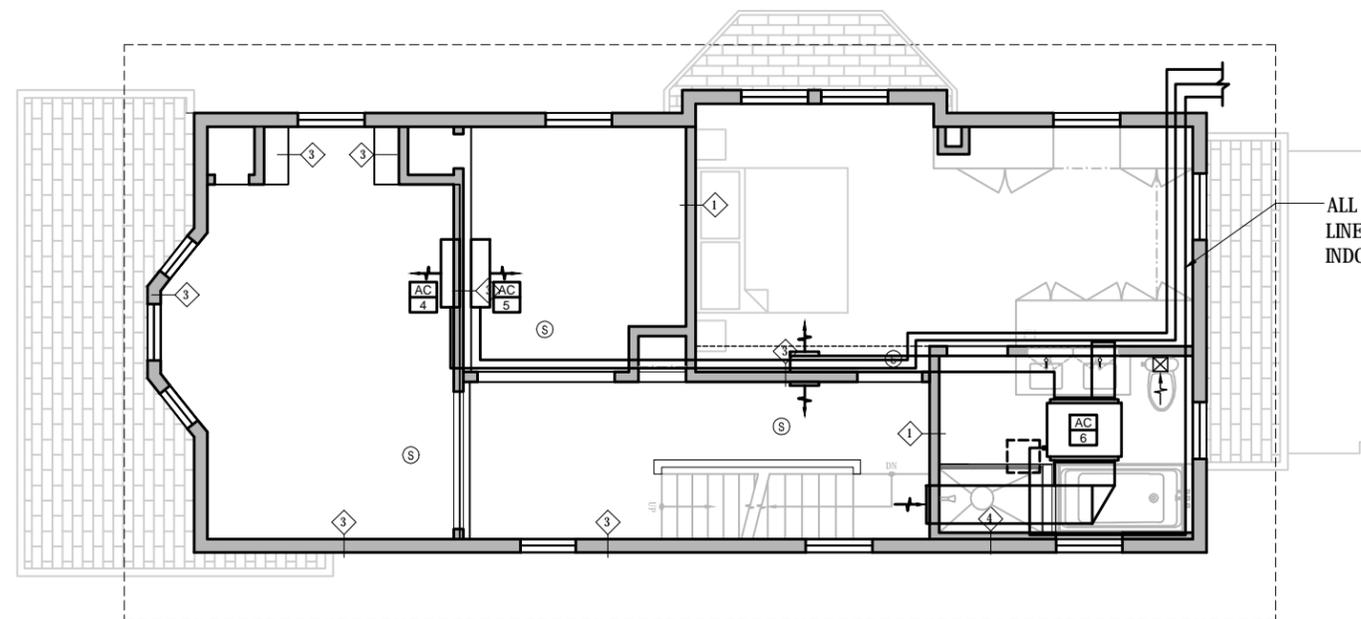


1 THIRD FLOOR MECHANICAL PLAN  
SCALE: 3/16" = 1'-0"



(AC-0) - OUTDOOR CONDENSER

3 REAR EXTERIOR PHOTO-LOCATING HVAC EQUIP  
SCALE: NTS



2 SECOND FLOOR MECHANICAL PLAN  
SCALE: 3/16" = 1'-0"

SPLIT - SYSTEM SCHEDULE			
A/C UNIT	UNIT TYPE	MANUFACTURER	MODEL NO.
AC - 1	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 2	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 3	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 4	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 5	WALL MOUNTED	MITSUBISHI	PKFY-P15NHMU-E
AC - 6	CONCEALED	MITSUBISHI	PEFY-P18NMSU-E
AC - 7	TOWER	MITSUBISHI	PVfy-P54E00A
AC - 8	TOWER	MITSUBISHI	PVfy-P54E00A
AC - 9	CEILING MOUNTED	MITSUBISHI	PLFY-P18NBMU-E
AC - 0	OUTDOOR CONDENSER	MITSUBISHI	PUMY-P60-NKMU

REVISIONS:

Number Date

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214 PARK PLACE, #3  
BROOKLYN, NY 11238

PROJECT LOCATION:  
**211 FENIMORE ST**  
211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**1ST FLOOR MECHANICAL PLAN**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:

**M-001.00**  
SHEET 47 OF 48



**PRODUCT GUIDE**  
**PUMY P-60**

**Product Overview**

PUMY-P60 extends the City Multi S-Series providing a high efficiency, single phase 5 ton heat pump. The system is capable of connecting up to 12 individual zones and is controlled by the City Multi Controls Network.

- INVERTER-driven compressor
- Single-phase heat pump
- Variable Refrigerant Flow (VRF) zoning technology
- Service access: front and side panels

**Changes for 2012**

Feature	Previous	New	Benefit
5 Tons	No	Yes	✓
Operational To -4° F (5 Ton Model)	No	Yes	✓
Improved Line Length To 492 Ft.	No	Yes	✓
Improved Efficiency: 16.7 SEER	No	Yes	✓
Connects Up To 12 Indoor Units	No	Yes	✓
Connects to all CITY Multi Indoor Units	No	Yes	✓

PUMY-P60NKMU	Inches/Pounds
Width	41-5/16
Depth	13 (+ 1-3/16)
Height	52-11/16
Weight	313

**Piping Lengths**

Length	Feet
Total (Max)	492
Farthest	262

Form No. PUG\_SSeries\_10.12.0A | Printed in the U.S.A.

**PRODUCT GUIDE S-SERIES**

**PUMY-P\*\*NKMU**

Model	PUMY-P60NKMU (5T)	PUMY-P48NKMU (4T)	PUMY-P36NKMU (3T)	
Power Source	208/230V, 1-phase, 60Hz			
Capacity *1	Cooling	36,000	48,000	60,000
	Heating	40,000	54,000	66,000
Power Input	Cooling	3.22	4.97	4.80
	Heating	2.93	4.88	6.15
Current (208-230V)	Cooling	14.2 / 15.7	24.0 / 21.7	21.5
	Heating	12.9 / 14.2	23.6 / 21.3	27.6
Electrical Supply	MCA	26	26	25
	Maximum Fuse Size	A	30	40
	Type x Quantity	Propeller Fan x 2		
Fan	Airflow Rate	3,530		4,940
	Type	INVERTER-driven Scroll Hermetic		
Compressor	Motor Output	2.4		3.0
	Lubricant	PV505		
Refrigerant	R410A			
External Finish	Galvanized Sheets (plus Powder Coating for -BS Model) Miniseal 3Y 7.8/1.1			
Dimensions	Height	53-3/16		52-11/16
	Width	37-7/16		41-5/16
	Depth	13 (+1-3/16)		
Net Weight	Pounds	287		313
Sound Pressure Levels (As Measured in an Anechoic Room)	dBA	49 / 51		50 / 50
Protection Devices	High Pressure Protection	High Pressure Switch		
	Compressor/Fan	Discharge Thermo and Over-current Detection		Compressor Thermo/Over-current Detection
	Inverter	Over-current/Overheat Protection		Over-current/Voltage Protection
Refrigerant Pipe Dimensions	Low Pressure	5/8 Flare		3/4
	High Pressure	3/8 Flare		3/8
Indoor Unit	Total Capacity	50 - 130% of Outdoor Unit Capacity		50 - 130% of Outdoor Unit Capacity
	Quantity	P06-P54/1-6	P06-P54/1-8	P06-P54/1-12
Operating Temperature Range	Cooling	Outdoor: 23° FDB - 115° FDB; 50° FDB - 115° FDB if connecting P06Y-P06/08 Indoor Unit		
	Heating	Outdoor: 0° FWB - 60° FWB		Outdoor: -4° FWB - 60° FWB
System Efficiencies *2				
EER (Ducted / Non-Ducted) *2		10.75 / 11.20	8.40 / 9.00	11.3 / 12.5
SEER (Ducted / Non-Ducted) *2		14.3 / 14.3	14.5 / 15.5	16.5 / 16.7
CDP (Ducted / Non-Ducted) *2		3.56 / 3.14	3.28 / 2.84	3.70 / 3.14

Note: Rating Conditions:  
\*1 Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB; Outdoor: 95° F (35° C) DB.  
Heating | Indoor: 70° F (21° C) DB; Outdoor: 47° F (8° C) DB/ 43° F (6° C) WB.  
\*2 Efficiency values listed in AHRI 210/240 test method.

-BS indicates seacoast protection option.

LIMITED WARRANTY | Seven-year warranty on compressor. One-year warranty on parts. See our website for details on specific additional application/installation coverage.

Specifications are subject to change.

REVISIONS:

Number \_\_\_\_\_ Date \_\_\_\_\_

N-PLUS ARCHITECTURE & DESIGN



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PROJECT LOCATION:  
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211 FENIMORE ST  
BROOKLYN, NY 11225

DWG. TITLE:  
**AC COMPRESSOR SPECIFICATIONS**

SCALE: 3/16" = 1'-0"

DATE: 7.20.2015

DWG. #:

**M-002.00**

SHEET 48 OF 48