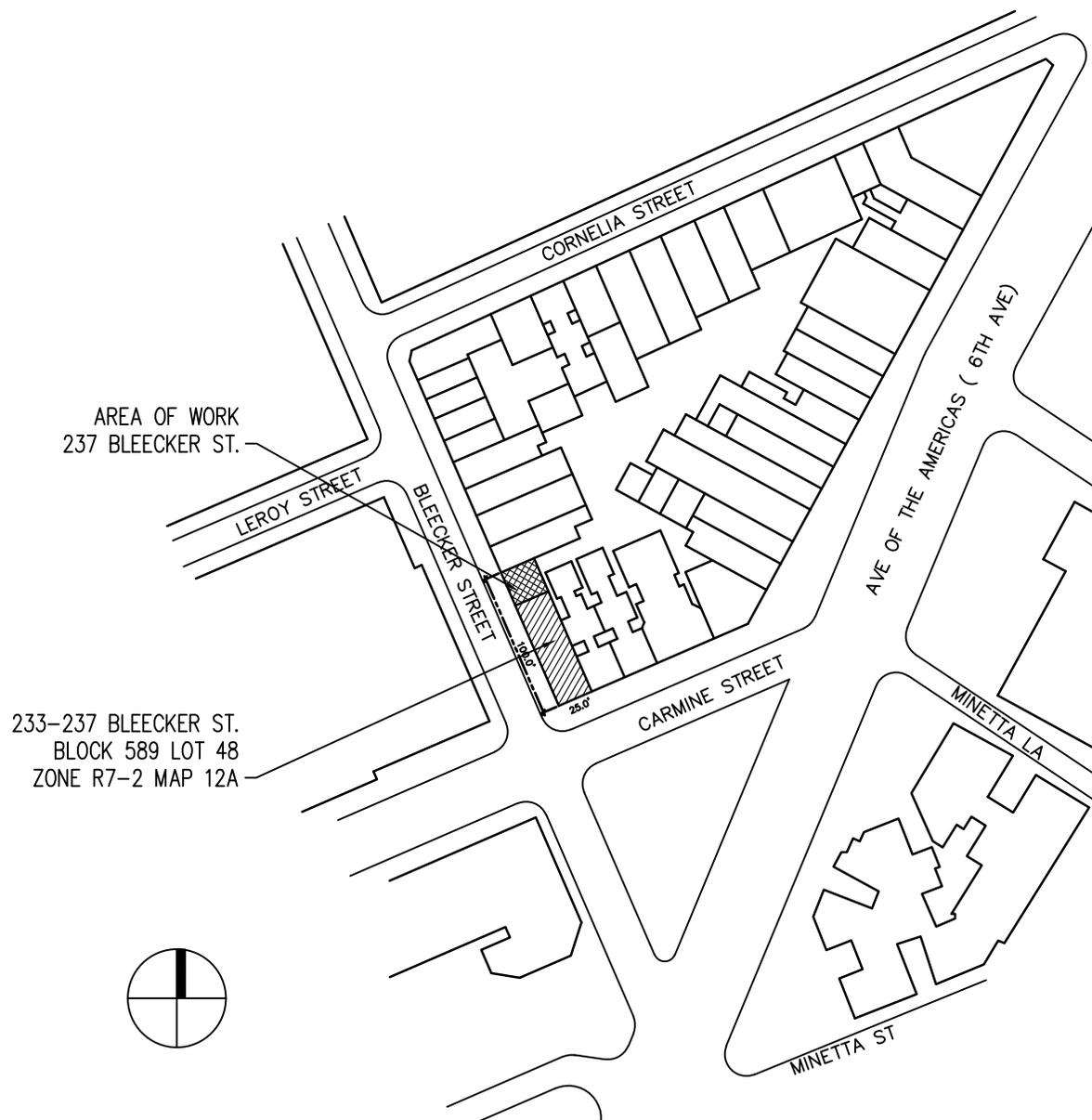


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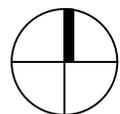
# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



AREA OF WORK  
237 BLEECKER ST.

233-237 BLEECKER ST.  
BLOCK 589 LOT 48  
ZONE R7-2 MAP 12A



## GREENWICH VILLAGE HISTORIC DISTRICT EXTENSION II

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017



1940 TAX PHOTO  
237 BLEECKER STREET

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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1940 TAX PHOTO  
237 BLEECKER STREET

---

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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1940 TAX PHOTO  
15 CARMINE STREET

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITIONS  
237 BLEECKER STREET

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STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017



EXISTING CONDITIONS  
237 BLEECKER STREET

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# 233 BLEECKER STREET LLC

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STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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235-233 BLEECKER STREET

# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
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EXISTING CONDITIONS  
15 CARMINE STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

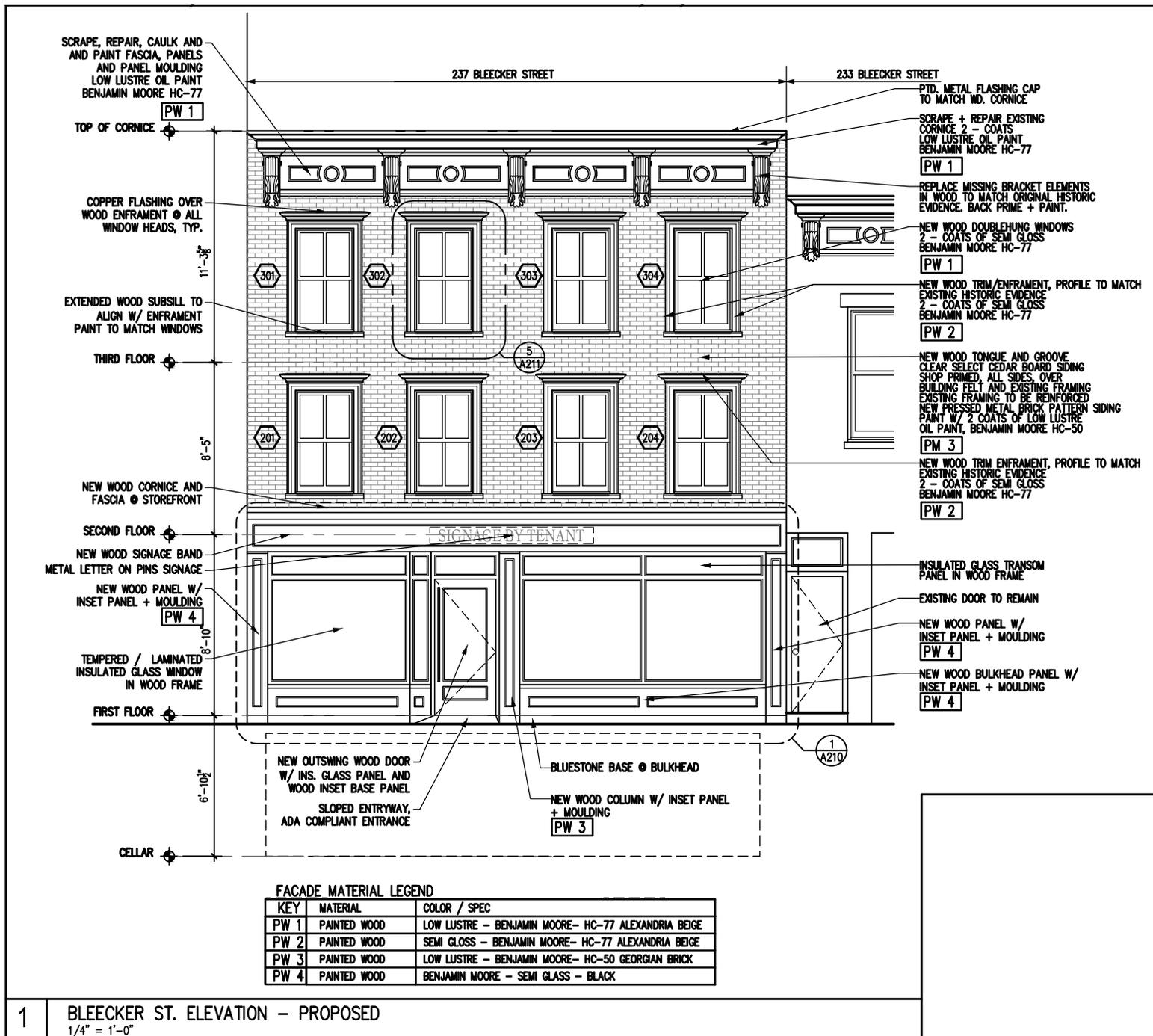
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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



1 BLEECKER ST. ELEVATION - PROPOSED  
1/4" = 1'-0"

## PROPOSED FACADE RESTORATION 237 BLEECKER STREET

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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# 233 BLEECKER STREET LLC

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STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



## PROPOSED FACADE RESTORATION 237 BLEECKER STREET

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017



PAINTED PRESSED METAL + WOOD WINDOW ENFRAMENT  
237 BLEECKER STREET

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**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---



PAINTED PRESSED METAL + WOOD WINDOW ENFRAMENT  
237 BLEECKER STREET

---

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PAINTED PRESSED METAL + WOOD WINDOW ENFRAMENT  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING WOOD CORNICE  
237 BLEECKER STREET

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
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PAINTED WOOD SIDING WITH PAINTED MORTAR JOINTS  
237 BLEECKER STREET

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237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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PAINTED WOOD SIDING + PAINTED PRESSED METAL  
237 BLEECKER STREET

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237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---



PAINTED WOOD SIDING WITH PAINTED MORTAR JOINTS  
237 BLEECKER STREET

---

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**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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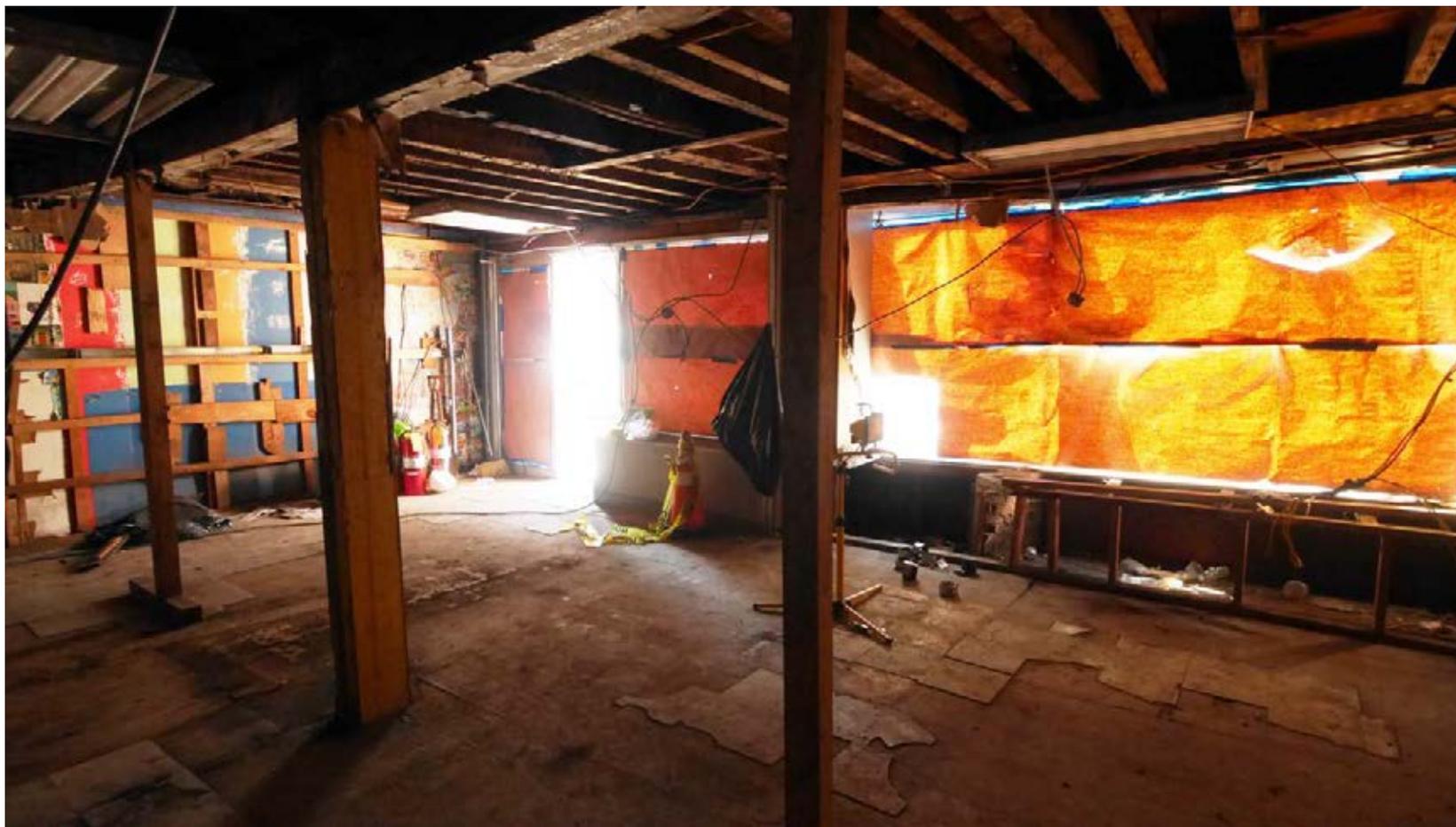
PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITION  
1ST FLOOR STORE INTERIOR  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
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NEW YORK, NY 10017

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EXISTING CONDITION - SECOND FLOOR  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITION - SECOND FLOOR  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---



EXISTING CONDITION - THIRD FLOOR  
237 BLEECKER STREET

---

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**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
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EXISTING CONDITION - THIRD FLOOR  
237 BLEECKER STREET

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237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITIONS - CELLAR RUBBLE WALL  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---

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EXISTING CONDITIONS - CELLAR REAR YARD WALL  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITIONS - REAR YARD WALL  
237 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

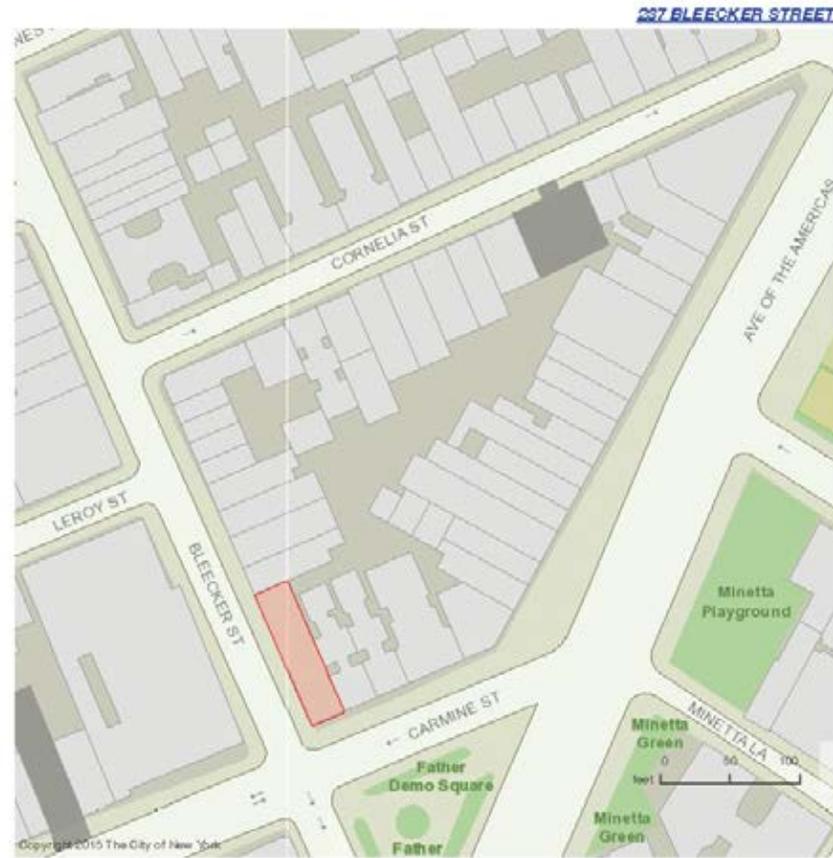
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---



EXISTING CONDITIONS - ADJACENT REAR YARDS  
237 BLEECKER STREET

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

---

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

---



EXISTING CONDITIONS - REAR YARD WALL  
237 BLEECKER STREET

---

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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EXISTING CONDITIONS - STOREFRONT  
237 BLEECKER STREET

# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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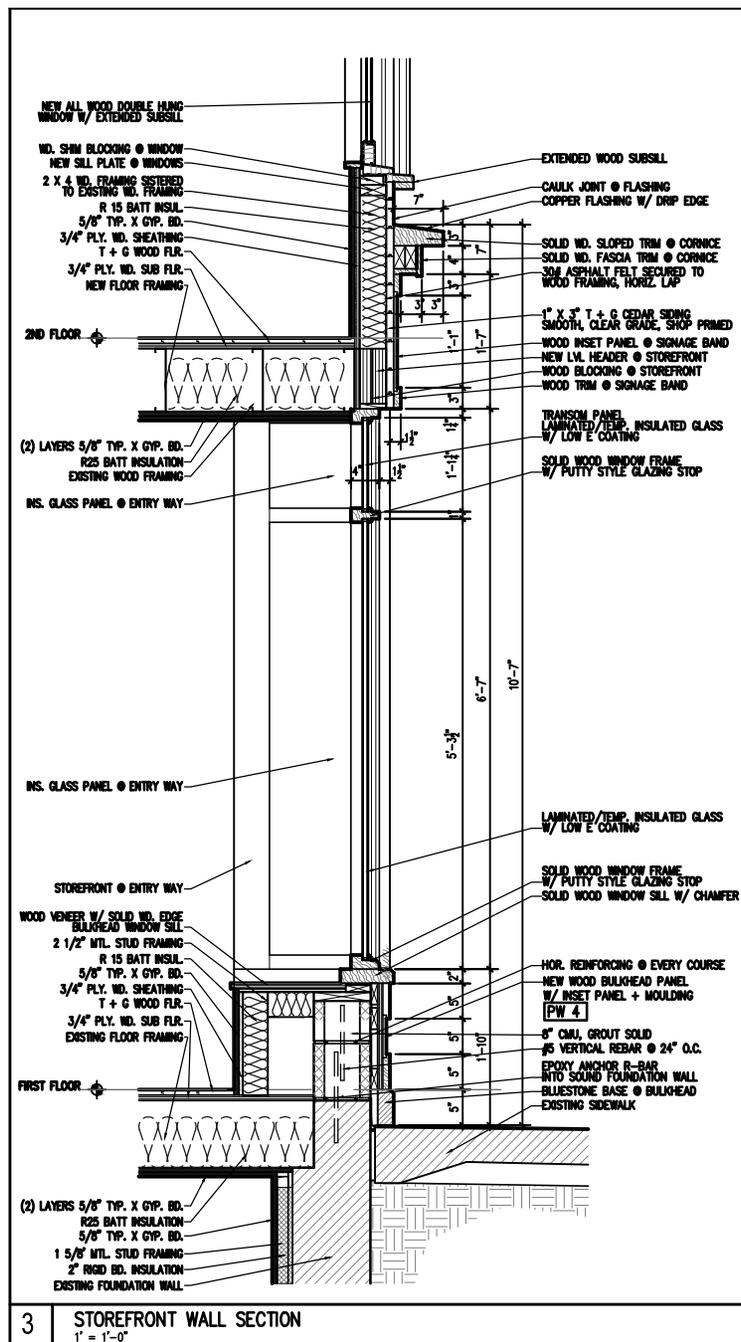
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237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



## PROPOSED STOREFRONT SECTION 237 BLEECKER STREET

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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ADJACENT STOREFRONTS  
285 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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ADJACENT STOREFRONTS  
289 BLEECKER STREET

**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017



HISTORIC EVIDENCE OF RECESSED ENTRY  
1ST FLOOR STORE INTERIOR  
237 BLEECKER STREET

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**233 BLEECKER STREET LLC**

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

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PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

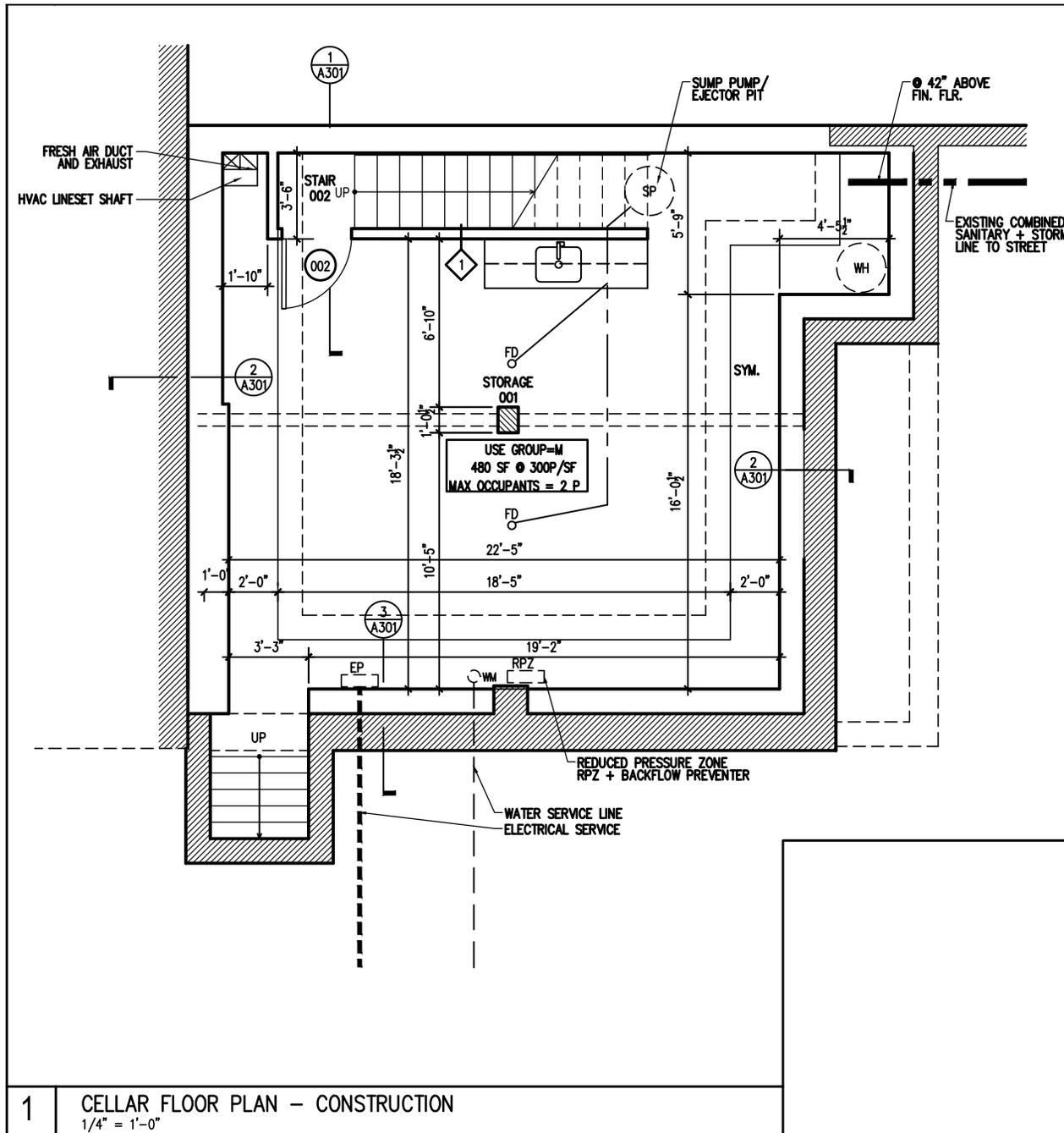
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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



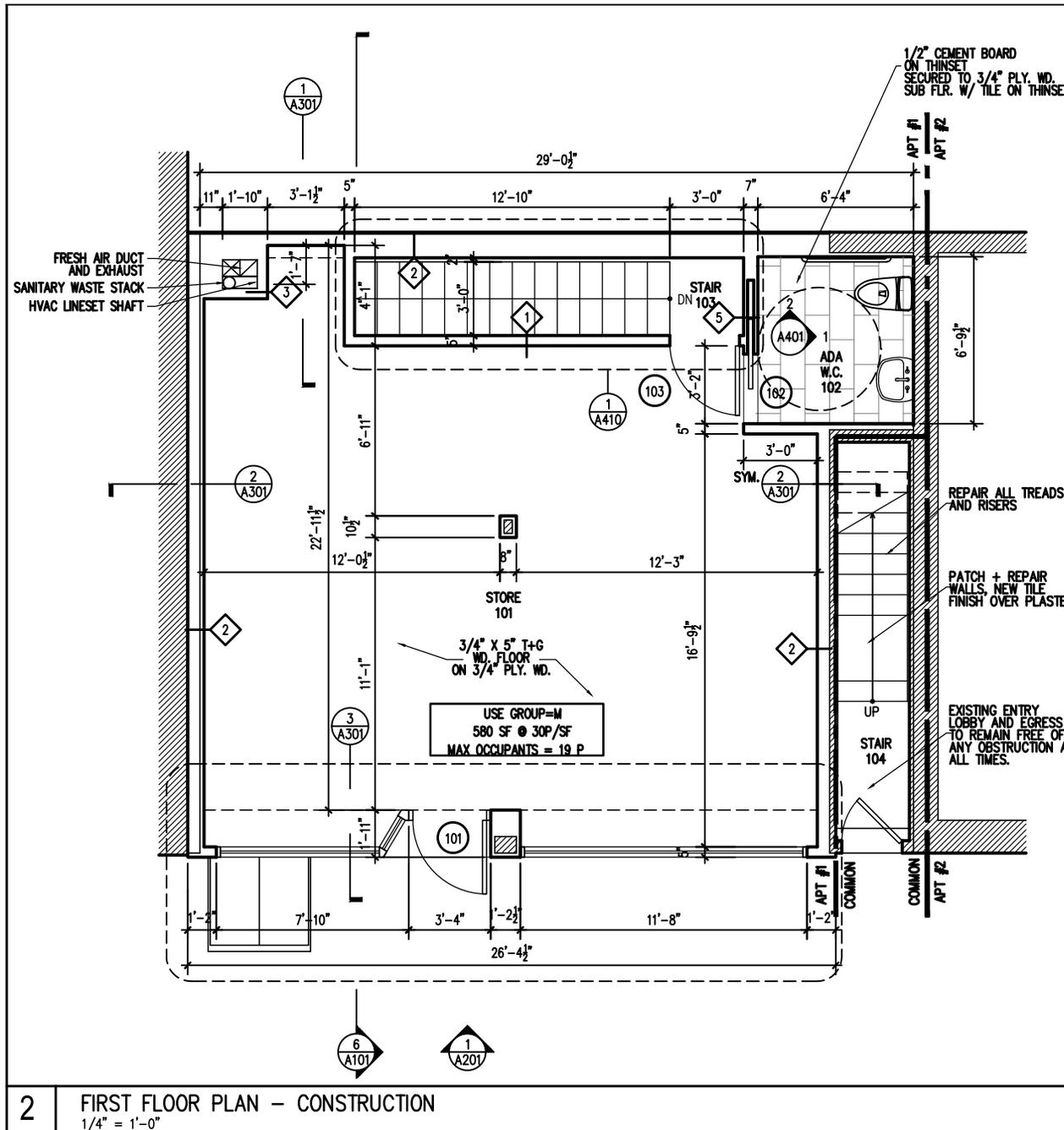
## PROPOSED CELLAR PLAN

PROJECT

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

**Nelson Benavides  
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361 EIGHTH STREET  
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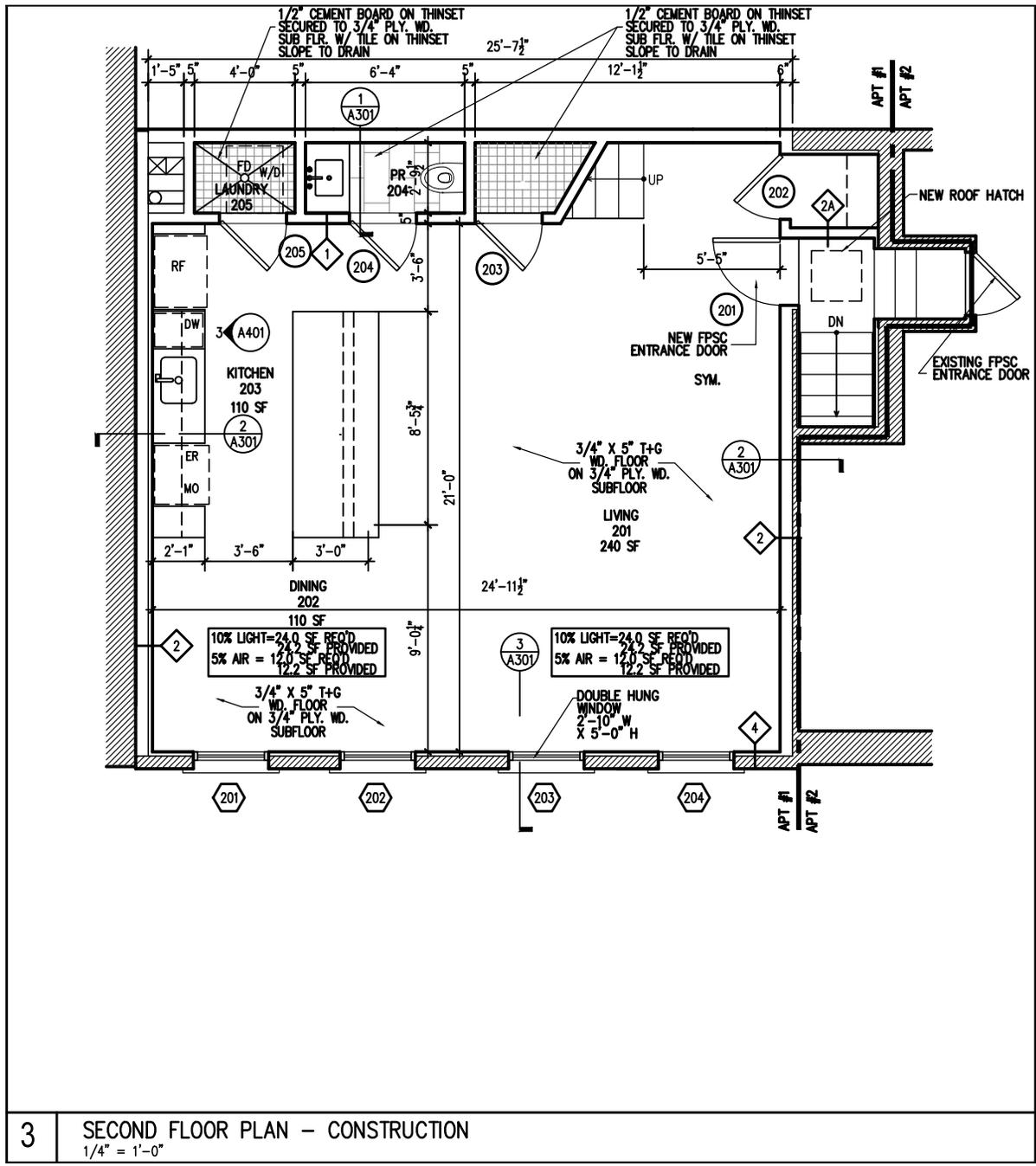


# 233 BLEECKER STREET LLC

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STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

## PROPOSED FIRST FLOOR PLAN

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
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# PROPOSED SECOND FLOOR PLAN

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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
 STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

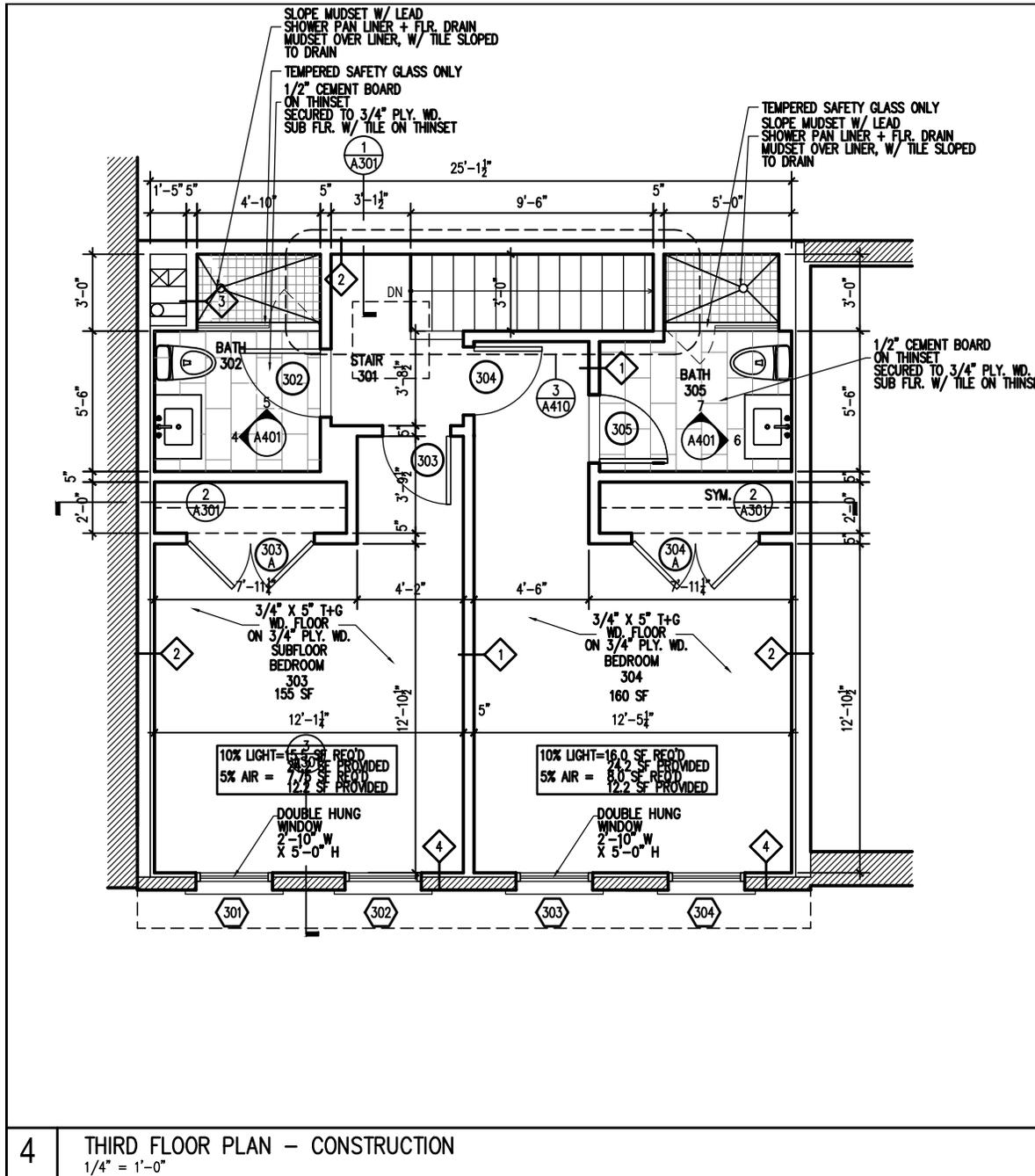
PROJECT  
 233 BLEECKER ST. LLC  
 STOREFRONT + FACADE REST.  
 237 BLEECKER ST.  
 NEW YORK, NY 10017

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STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

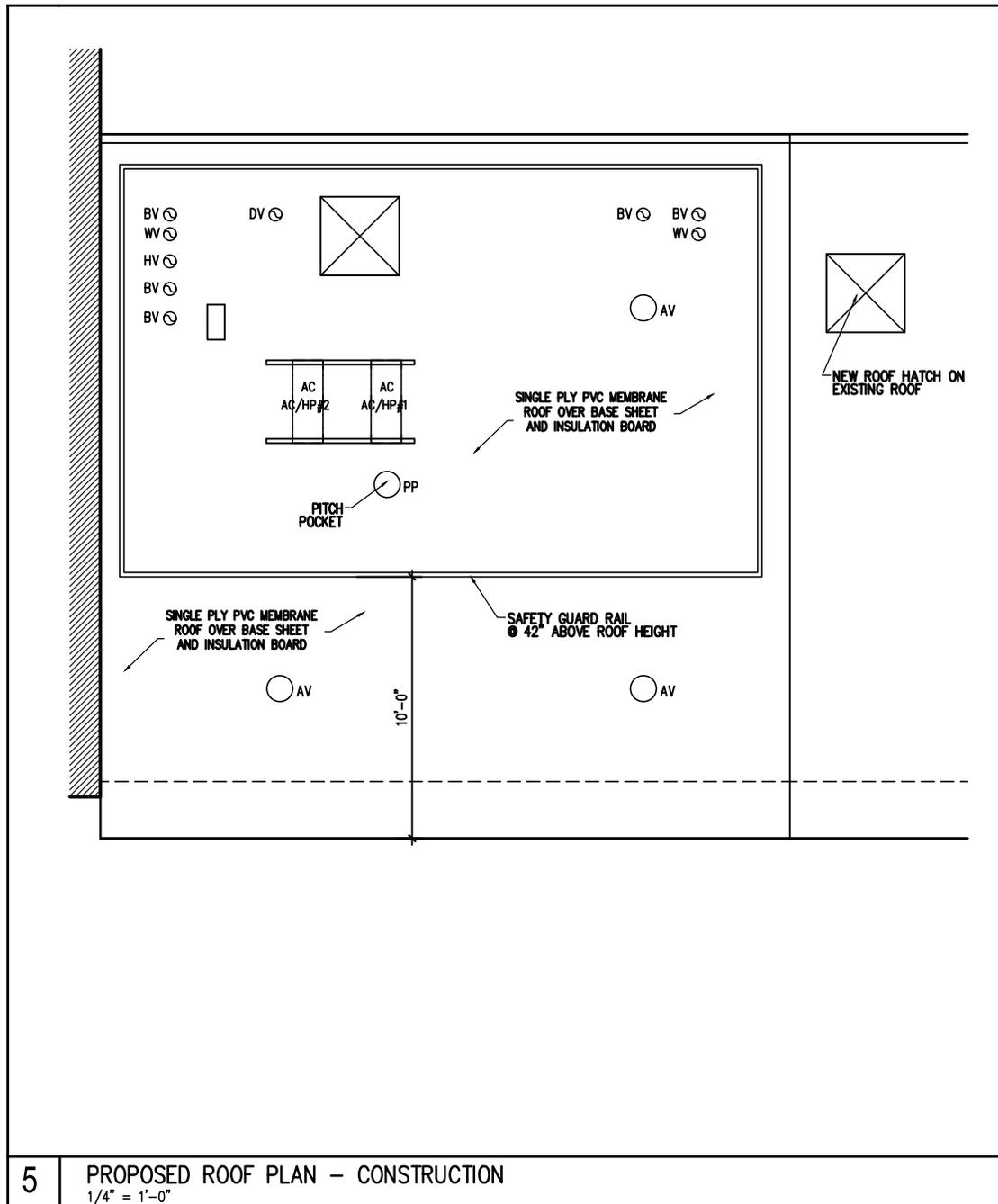


## PROPOSED THIRD FLOOR PLAN

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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Architect**

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# 233 BLEECKER STREET LLC

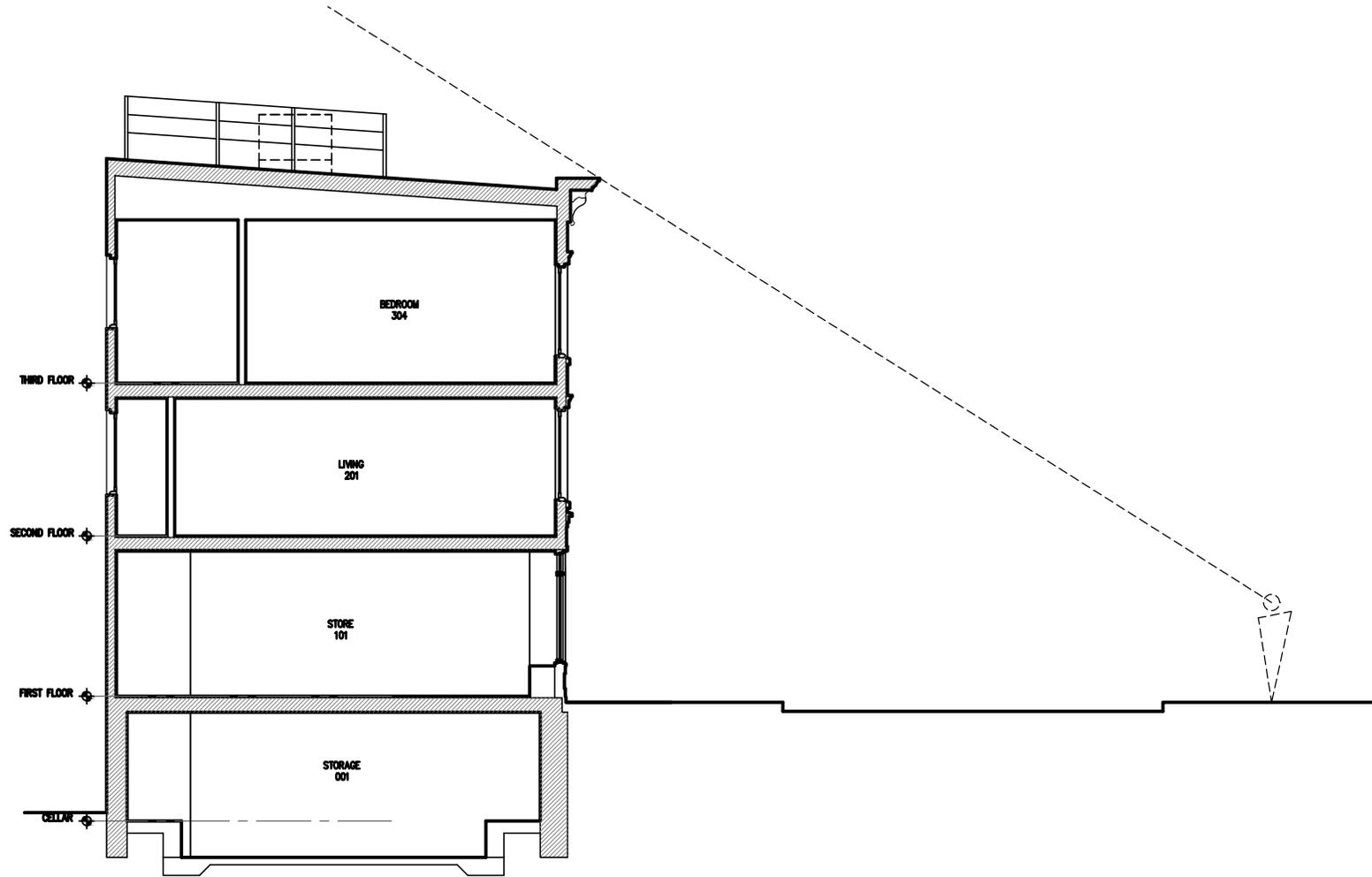
237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

## PROPOSED ROOF PLAN

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
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SIGHT LINES ON BLEECKER STREET

# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017

STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT

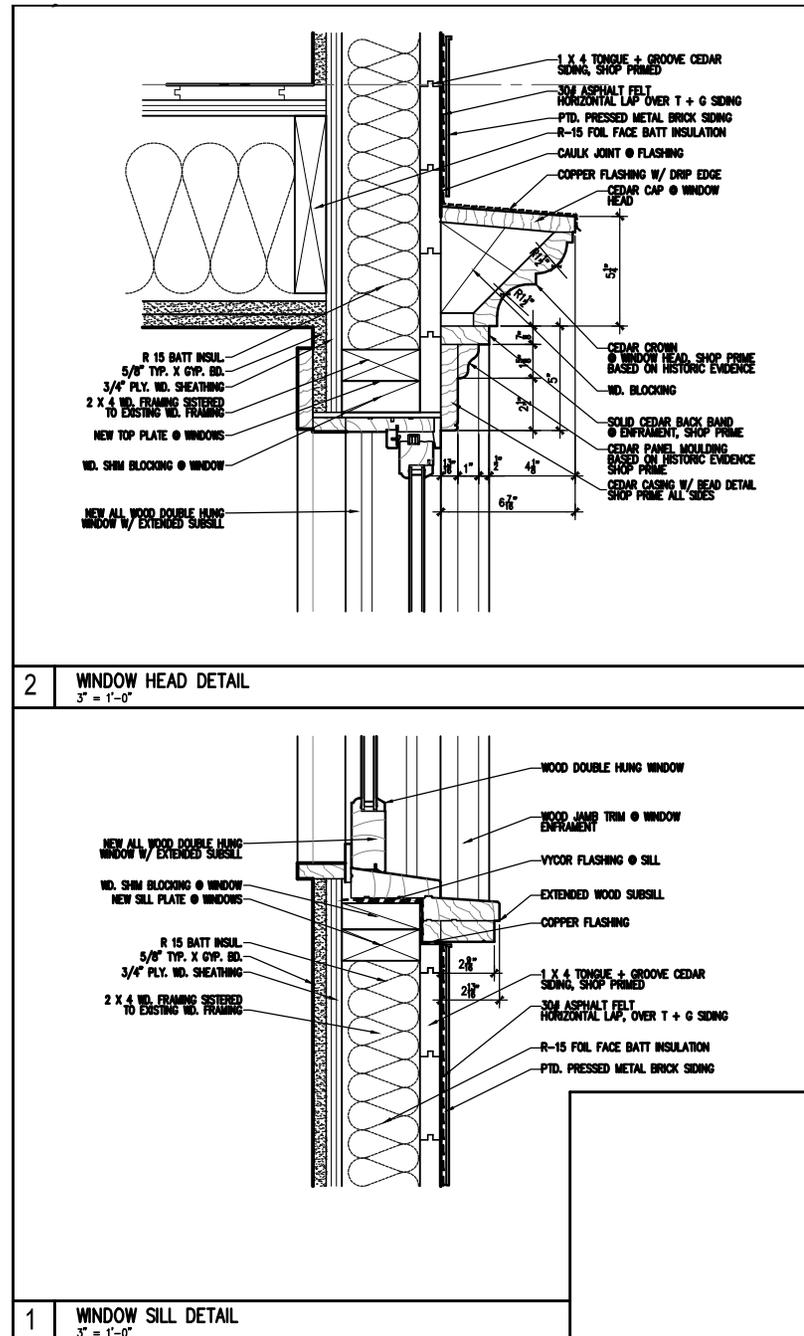
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
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Tel: 917.846.8613  
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# 233 BLEECKER STREET LLC

237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION



## WOOD WINDOW + ENFRAMENT DETAILS 237 BLEECKER STREET

PROJECT  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017



ORIGINAL PAINTED PRESSED METAL OVER PROPOSED  
PRESSED METAL BY W.F. NORMAN CORP.

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**Nelson Benavides**  
Architect

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PROJECT

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STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

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PW 4 - BENJAMIN MOORE  
SEMI GLOSS  
BLACK  
STOREFRONT



PW 3 - BENJAMIN MOORE  
LOW LUSTRE  
HC-50 GEORGIAN BRICK  
PRESSED METAL FACADE



PW 2 - BENJAMIN MOORE  
LOW LUSTRE  
HC-77 ALEXANDRIA BEIGE  
CORNICHE



PW 1 - BENJAMIN MOORE  
SEMI - GLOSS  
HC-77 ALEXANDRIA BEIGE  
WINDOWS + ENFRAMENT

PROPOSED PAINT COLOR SCHEME  
237 BLEECKER STREET

**Nelson Benavides  
Architect**

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PROJECT

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NEW YORK, NY 10017

GENERAL NOTES

- THE GENERAL CONTRACTOR IS TO SUBMIT TO THE BUILDING'S MANAGEMENT ALL NECESSARY INSURANCE FORMS AND AFFIDAVITS PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL GIVE THE TENANT WRITTEN GUARANTEE COVERING ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE TENANT (CONFIRMED IN WRITING), AND HE SHALL, UPON NOTICE, PROMPTLY MAKE GOOD AT HIS OWN EXPENSE, ALL DEFECTS IN MATERIAL AND WORKMANSHIP DURING THIS PERIOD WITHOUT ANY COST TO THE TENANT.
- THE GENERAL CONTRACTOR SHALL CHECK BUILDING OPENING CLEARANCES FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS - I.E., SIZE OF ELEVATORS, CORRIDORS, ETC.
- INTERIOR FINISH REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE N.Y.C.B.C. TABLES 5-4.
- LIGHT AND VENTILATION SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF SUBCHAPTER 12, ARTICLES 2 THROUGH 7.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS.
- ARCHITECT TO VERIFY FLOOR TRACK LAYOUT OF METAL STUD PARTITIONS PRIOR TO SHEETROCK INSTALLATIONS. ALLOW ARCHITECT 24 HOURS NOTICE FOR FIELD INSPECTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE AND SHALL BE RESPONSIBLE FOR KEEPING PUBLIC CORRIDORS CLEAN AND FREE OF MATERIALS AT ALL TIMES.
- ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC., OSHA, OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
- ALL WOOD FRAMING, SHEATHING, BLOCKING, GROUND, CABINET WORK, WOOD DOORS, ETC. ARE TO BE CONSTRUCTED IN THEIR ENTIRETY USING "FIRE RETARDANT" LUMBER AND/OR PLYWOOD. EACH WOOD MEMBER SHALL HAVE THE NEW YORK CITY BSA STAMP INDICATING ITS ACCEPTANCE FOR USE IN NEW YORK CITY.
- BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES (ELECTRICAL, HVAC, GAS, ETC.) THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE ARCHITECT AND THE BUILDING MANAGEMENT 72 HOURS IN ADVANCE AND OBTAIN THE BUILDING MANAGEMENT'S APPROVAL, IN WRITING. DO NOT OBSTRUCT WALKWAYS, PASSAGEWAYS, STAIRS, OR OTHER MEANS OF EGRESS. CONDUCT OPERATION WITH MINIMUM INTERFERENCE.
- GENERAL CONTRACTOR MUST COORDINATE WITH THE OWNER SO THAT THE WORK IS DONE IN A MANNER THAT WILL CAUSE THE LEAST INTERFERENCE WITH THE OPERATION OF THE BUILDING OR ANY PART THEREOF.
- DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE. PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION.
- ENFORCE ALL REQUIREMENTS REGARDING SIGNS, SECURITY, FIRES, DANGER, SIGNALS, BARRICADES, SAFETY LIGHTING, AND SMOKING.
- BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR CONTENTS BY REASON OF THE INSUFFICIENCY OF PROTECTION PROVIDED.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF N.Y.C.B.C. SECTION 27-13(106.2).
- AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK, PER N.Y.C.B.C. SECTION 27-195(118.5).
- WHERE PIPES, WIRES, CONDUITS, ETC. PIERCE FIRE PROTECTION OF INDIVIDUALLY CASED STRUCTURAL MEMBERS, SUCH PENETRATION SHALL NOT EXCEED 2% OF ANY FACE OF SUCH PROTECTION AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS OR PLATES PER N.Y.C.B.C. SECTION 27-324(504.5).
- DUCTS, PIPES, AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE SPACE NOT TO EXCEED 1/2 INCH PACKED WITH MINERAL WOOL AND CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS. AGGREGATE NET AREA OF SUCH OPENING SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQUARE FEET OF WALL OR FLOOR AREA UNLESS PROTECTED BY RATED SELF CLOSING DEVICES PER N.Y.C.B.C. 27-343(504.2).
- FIRE DIVISIONS SHALL COMPLY WITH THE PROVISIONS OF N.Y.C.B.C. 27-340(504.2) AND SHALL BE CONTINUOUS THROUGH ANY CONCEALED SPACE IN FLOOR CONSTRUCTION.
- CONCEALED SPACES WITHIN WALLS, PARTITIONS, FLOORS, FURRING, PIPE SPACES, COLUMN, ENCLOSURES, ETC., SHALL BE FIRE STOPPED WITH NON COMBUSTIBLE MATERIAL THAT CAN BE SHAPE FITTED AND PERMANENTLY SECURED IN POSITION PER N.Y.C.B.C. SECTION 27-345(504.7).
- PENETRATIONS OR OPENINGS IN WALLS, PARTITIONS OR FLOORS FOR PIPE SLEEVES, ELECTRICAL DEVICES, ETC., SHALL BE PACKED, SEALED, LINED, OR OTHERWISE ISOLATED TO MAINTAIN THE STC RATING.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICALS, ETC.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

SPECIAL INSPECTIONS

- FIRESTOP, DRAFTSTOP + FIREBLOCK SYSTEMS.

PROGRESS INSPECTIONS

- FINAL INSPECTION
- ENERGY CODE INSPECTIONS
  - LIGHTING IN DWELLING UNITS
  - LIGHTING CONTROLS

NO CHANGE OF USE, OCCUPANCY, EGRESS OR ZONING THIS APPLICATION

2008 TENANT PROTECTION PLAN:

TENANT SAFETY NOTES: 28-104.8.4 TENANT PROTECTION PLAN

- EGRESS.
 

AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER. SEE DRAWING 1/A-001.00 FOR EGRESS.
- FIRE SAFETY.
 

ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED. CONTRACTOR TO MAINTAIN CERTAIN SAFETY PRECAUTIONS. CONTRACTOR AGREES THAT FUNCTIONING FIRE EXTINGUISHERS AND SMOKE ALARMS WILL BE MAINTAINED IN THE APARTMENT DURING THE WORK.
- HEALTH REQUIREMENTS.
 

SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.

3.1 CONTRACTOR AND SUBCONTRACTOR(S) SHALL COMPLY AS APPLICABLE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND IMPLEMENTING REGULATIONS, REGARDING LEAD-BASED PAINT HAZARDS, INCLUDING WITHOUT LIMITATION, THE NEW YORK CITY CHILDHOOD LEAD POISONING PREVENTION ACT OF 2003 (NEW YORK CITY LOCAL LAW 1 OF 2004), CHAPTER 11 TITLE 28 OF THE RULES OF THE CITY OF NEW YORK (THE "HPD RULES"), AND UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT REGULATIONS, 40 CODE OF FEDERAL REGULATIONS 745.
- COMPLIANCE WITH HOUSING STANDARDS.
 

THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY.
 

NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.
- NOISE RESTRICTIONS.
 

CONSTRUCTION CREWS WILL PERFORM WORK ONLY DURING THE APPROVED HOURS AS FOLLOWS:  
 A. 8:30 A.M. - 4:30 P.M. MONDAY THROUGH FRIDAY. ALL WORKERS MUST BE OUT OF THE BUILDING BY 4:30 P.M.  
 B. NOISY WORK SHALL NOT BE PERFORMED BEFORE 10:00 A.M.  
 C. CONTRACTORS MAY NOT PERFORM WORK ON WEEKENDS OR THE FOLLOWING HOLIDAYS: NEW YEARS DAY, MARTIN LUTHER KING DAY, PRESIDENTS DAY, GOOD FRIDAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, YOM KIPPUR, COLUMBUS DAY, THANKSGIVING DAY AND CHRISTMAS DAY.  
 2. NOISE LEVELS, WORKERS WILL MAKE AN EFFORT TO KEEP NOISE LEVELS LOW.  
 A. CONTRACTORS MAY NOT USE POWER TOOLS SUCH AS ELECTRIC HAMMERS, JACK HAMMERS OR PORTABLE ELECTRIC SAWS WITHOUT PERMISSION OF THE CORPORATION.  
 B. CORPORATION SHALL BE THE SOLE ARBITER SHOULD THERE BE ANY DOUBT AS TO NOISE LEVELS WHICH MAY BE DISTURBING.

LEGENDS

ELECTRICAL DEVICE KEY

- DUPLEX RECEPTACLE
- RECESSED FLOOR DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- DEDICATED QUAD RECEPTACLE
- GFI DUPLEX RECEPTACLE
- SPECIAL PURPOSE DEDICATED RECEPTACLE
- RECESSED FLOOR DUPLEX RECEPTACLE 2V/2D
- A/V TERMINATION
- FAX LINE
- WALL MOUNTED TELEPHONE
- 2 VOICE / 2 DATA DEVICE
- DOOR CONTACT SECURITY
- WINDOW CONTACT SECURITY

LIGHTING KEY

- WALL MOUNTED SCOFF
- RECESSED CLG FIXTURE
- SURFACE MOUNTED FIXTURE
- LIGHT CONTROL SWITCH

LIFE SAFETY KEY

- EXIT SIGN W/ EMERGENCY LIGHTING
- FIRE ALARM PULL STATION
- FIRE ALARM SPEAKER / STROBE
- SPRINKLER
- SMOKE DETECTOR
- HEAT DETECTOR

WALL LEGEND

- EXISTING WALL
- NEW PARTITION
- DEMOLISHED WALL

DRAWING LEGEND

- TITLE DETAIL NUMBER
- COLUMN LINE DETAIL
- SECTION DETAIL
- BUBBLE INTERIOR
- ELEVATION CENTER
- LINE ELEVATION MARK
- SPOT ELEVATION
- DOOR NUMBER
- WINDOW NUMBER
- PARTITION TYPES
- REVISION NUMBER

APPLIANCE / EQUIPMENT LEGEND

- REFRIGERATOR
- ELECTRIC RANGE
- DISHWASHER
- MICROWAVE
- EXHAUST HOOD
- WASHER / DRYER
- WINE COOLER

MATERIAL KEY / LIST

- Surface Soil
- Soil
- Gravel
- Sand
- Concrete
- Stone
- Plaster
- Wood
- Plywood
- Rigid Insulation
- Batt Insulation
- Wood Blocking
- Wood Shim
- Ferrous Metals
- Dampproofing
- Membrane Flashing
- Metal Flashing

SMOKE / CARBON MONOXIDE DETECTORS NOTES

- SMOKE/CARBON MONOXIDE DETECTORS OR DEVICES SHALL BE INSTALLED IN ORDINANCE WITH THE HOUSING MAINTENANCE CODE, MULTIPLE DWELLING LAW, THE NEW YORK CITY BUILDING CODE, THE NEW YORK CITY ELECTRICAL CODE AND NFPA 72.
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS MAY BE COMBINED PROVIDING THE DEVICES COMPLY WITH THE PROVISIONS OF TITLE 28 OF THE ADMINISTRATIVE CODE OF THE CITY OF NEW YORK AND ANY APPLICABLE RULES PROMULGATED THEREUNDER.
- EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH REFERENCE STANDARD UL 2034 AND UL 2075 OF THE NEW YORK CITY BUILDING CODE.
- EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15'-0" OF THE ENTRANCE TO A SLEEPING ROOM; INSIDE EACH SLEEPING ROOM; AND ON EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES AND PENTHOUSES PER 908.7.1.1.1.
- EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE OF A TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE.
- DUPLEX UNITS SHALL HAVE A DEVICE LOCATED ON EACH LEVEL IF ONLY ONE MEANS OF EGRESS IS PROVIDED FROM EACH LEVEL.
- CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4' FROM ANY WALL.
- WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4' TO A MAXIMUM OF 12' FROM THE CEILING.
- EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE SMOKE/CARBON MONOXIDE DETECTOR DEVICE RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER NEW YORK CITY BUILDING CODE SEC. 907.2.10.2 THROUGH 907.2.10.4.
- EXISTING BUILDINGS THAT ARE NOT EQUIPPED WITH HARDWIRED CONNECTIONS SHALL BE SUPPLIED WITH BATTERY OPERATED DEVICES.
- SUCH SMOKE/CARBON MONOXIDE DETECTOR MUST BE EITHER THE IONIZATION CHAMBER TYPE OR THE PHOTOELECTRIC DETECTOR TYPE AS PER NEW YORK CITY BUILDING CODE SEC. 907 AND 908.
- A 'CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE/CARBON MONOXIDE DETECTORS' MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT H.P.D., 10 DAYS AFTER INSTALLATION.
- WRITTEN INFORMATION OF TESTING AND MAINTENANCE OF THE DEVICES SHALL BE PROVIDED TO THE DWELLING UNIT OWNER.
- IN MULTIPLE DWELLINGS (R-2), SMOKE ALARMS SHALL BE ABLE TO SUPPORT VISIBLE ALARM PER ANSI A117.1.

GENERAL NOTES:

- LOCATE + TEST SHUT-OFF VALVES PRIOR TO DEMOLITION AND CONSTRUCTION.
- TEST DOMESTIC WATER PRESSURE PRIOR TO DEMOLITION AND CONSTRUCTION.
- VERIFY EXISTING INCOMING ELECTRICAL SERVICE PRIOR TO DEMOLITION AND CONSTRUCTION.
- PROBE TO LOCATE ALL UTILITIES PRIOR TO DEMOLITION AND CONSTRUCTION.

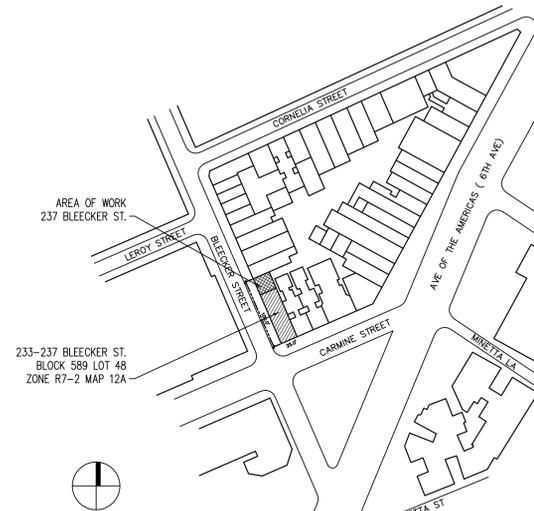
ENERGY CODE COMPLIANCE NOTE:

1. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ECONYS 2010.

DRAWING LIST

		● NEW DRAWING		● REVISED DRAWING		○ NO CHANGES THIS DRAWING	
		1/29/2015		- LFC SUBM.			
ISSUE NUMBER		1					
ARCHITECTURAL		DWG. #					
GENERAL NOTES, SYMBOLS AND KEYS		T-001.00		●			
ADA DIAGRAMS		G-001.00		●			
DEMOLITION PLANS - CELLAR, 1ST, 2ND, 3RD, ROOF		DM-101.00		●			
CONSTRUCTION PLANS - CELLAR, 1ST, 2ND, 3RD, ROOF + SECT.		A-101.00		●			
POWER + LIGHTING PLANS - CELLAR, 1ST, 2ND, 3RD, ROOF		A-101.00		●			
SITE PHOTOGRAPHS, EXISTING CONDITIONS + PROPOSED FACADE		A-201.00		●			
STOREFRONT PLAN, ELEVATION + SECTION DETAIL		A-210.00		●			
WINDOW DETAILS, WINDOW ELEVATION, SCHEDULE +SITE EVIDENCE		A-211.00		●			
MATERIAL + COLOR BOARD		A-220.00		●			
WALL SECTION DETAILS		A-301.00		●			
STAIR PLANS, SECTIONS AND DETAILS		A-410.00		●			
WALL TYPES, CEILING TYPES AND DOOR SCHEDULE		A-501.00		●			

PLOT PLAN



BLDG. INFO.

ADDRESS: 237 BLEECKER STREET, NY, NY 10017  
 BLOCK: 589  
 LOT: 48  
 ZONING: R7-2 / COMMERCIAL OVERLAY: C1-5  
 MAP: 12A  
 USE: M / R2  
 AREA OF WORK: CELLAR, 1ST, 2ND + 3RD FLR.  
 LANDMARK: YES - GREENWICH VILLAGE HISTORIC DIST. EXT. II

Nelson Benavides Architect

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TITLE SHEET  
 GENERAL NOTES

DATE: DEC 18, 2014  
 PROJECT #: 2014-50  
 DRAWING BY: NB  
 CHECKED BY: NB  
 DWG NO:  
**T-001.00**

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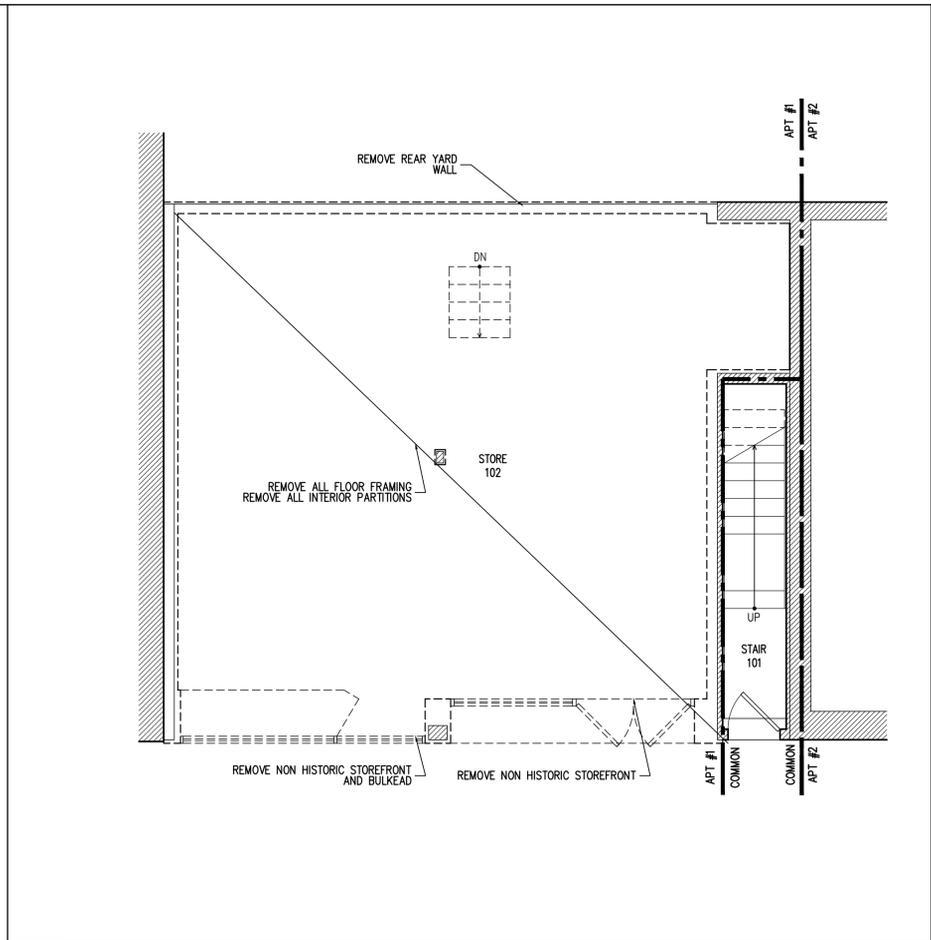
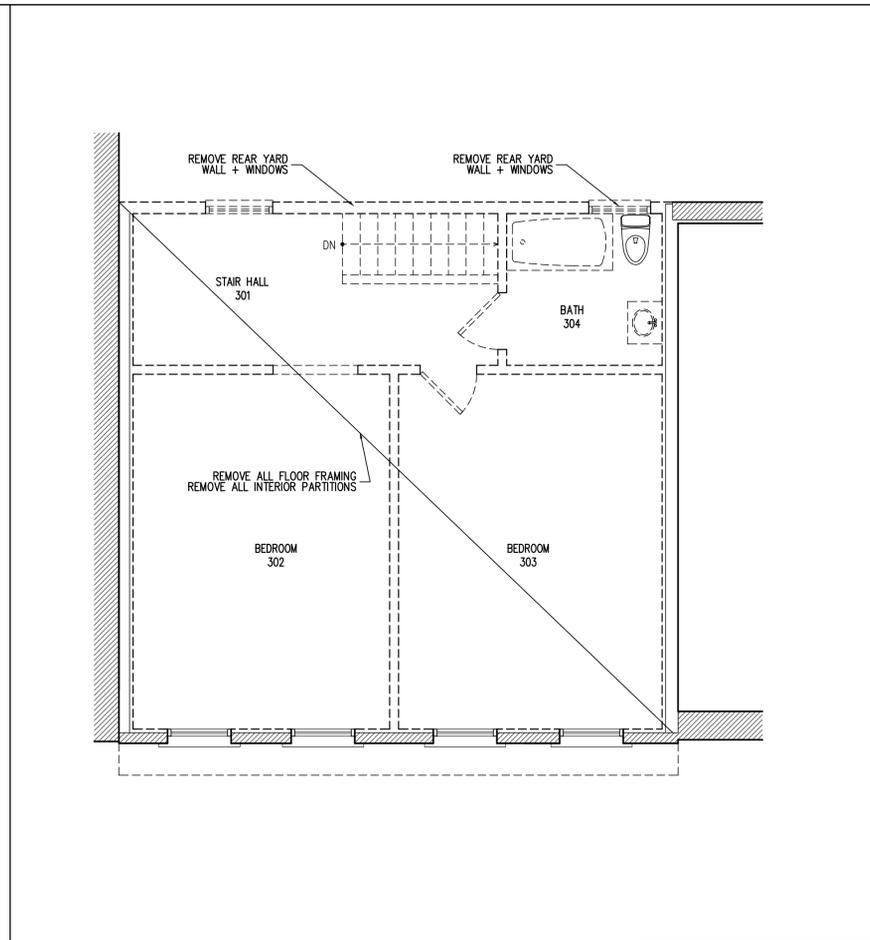
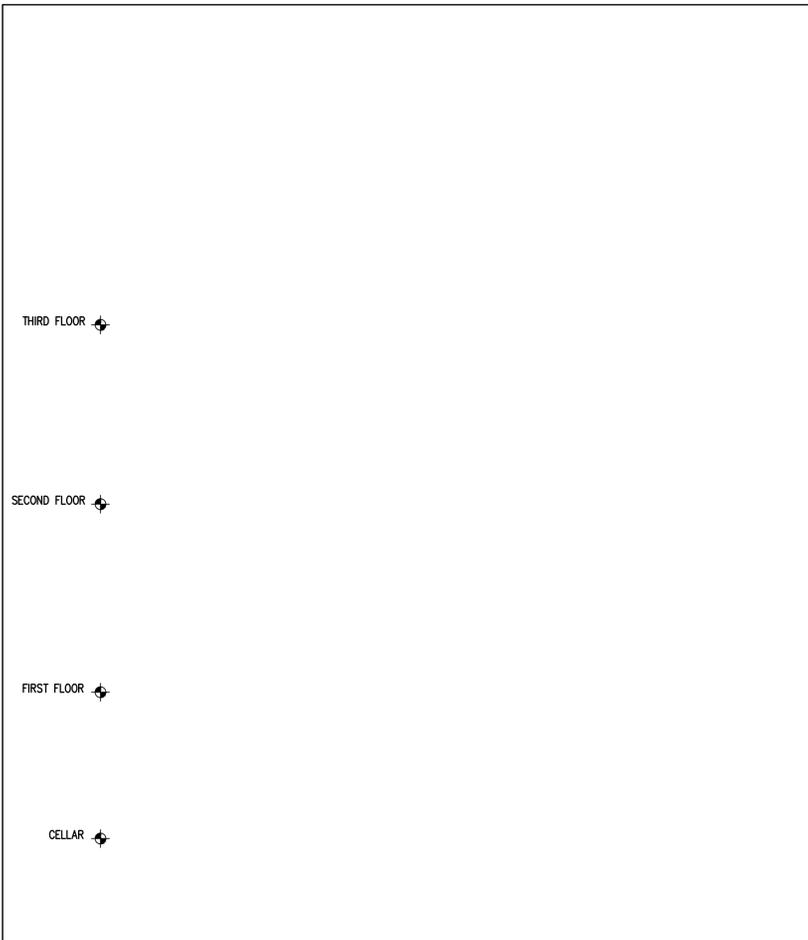
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DEMOLITION  
CELLAR, BASEMENT + FIRST  
FLOORS

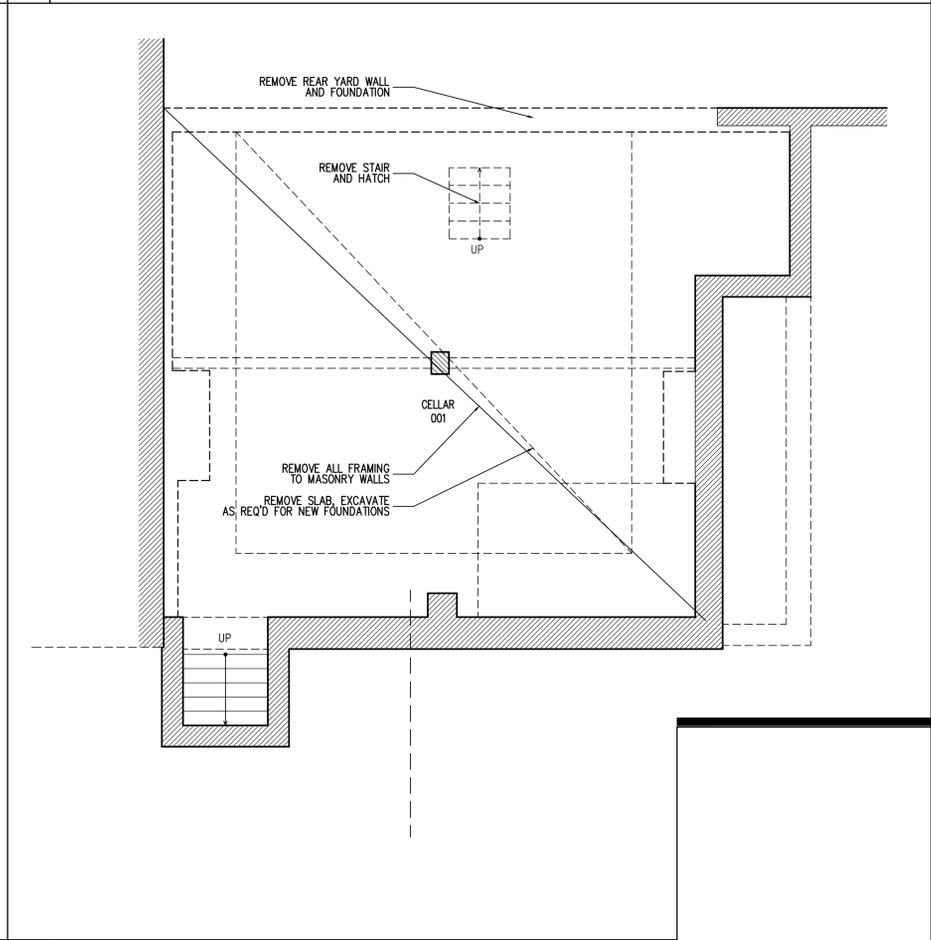
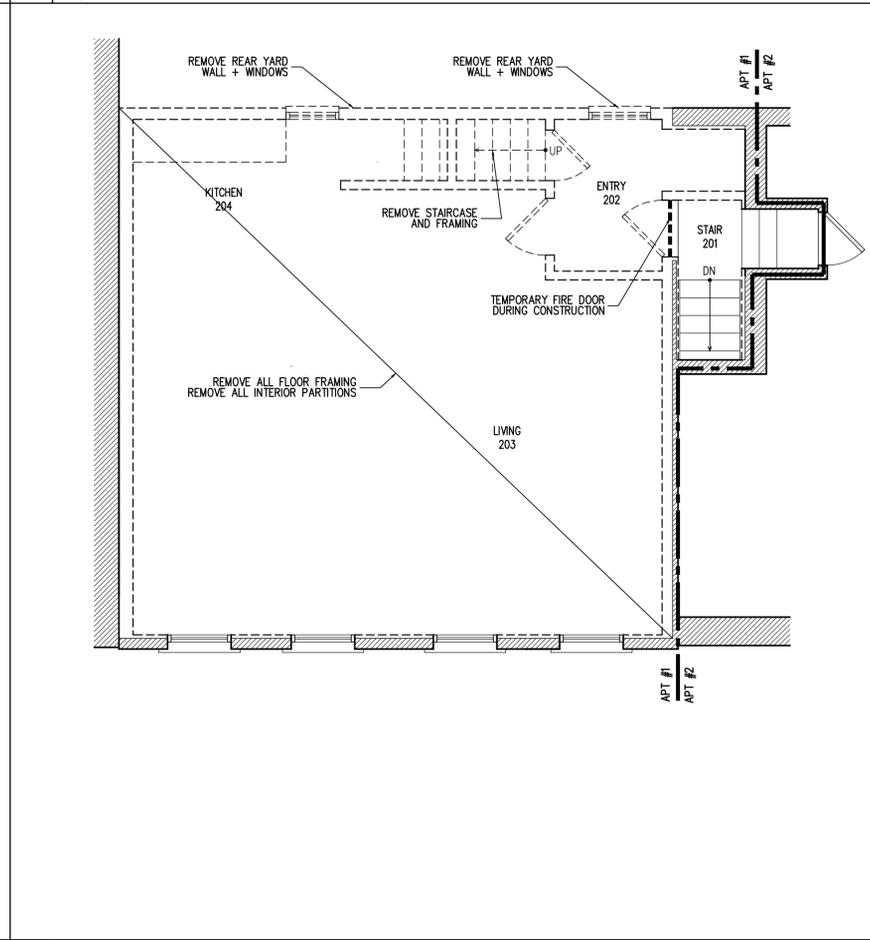
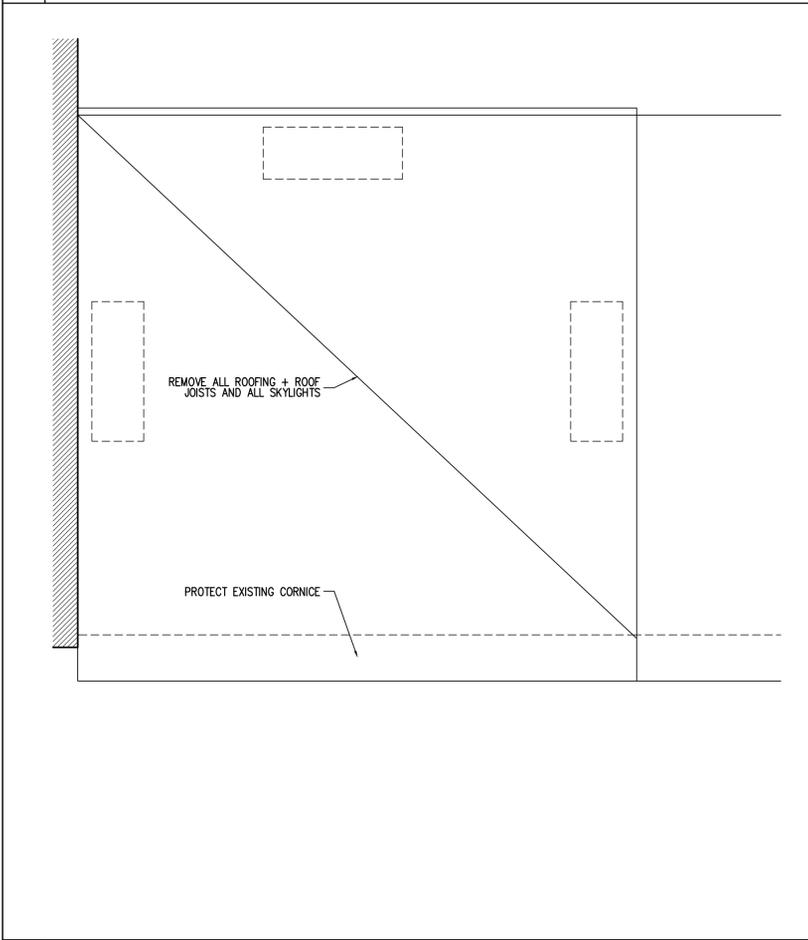
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PROJECT #: 2014-50  
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CHECKED BY: NB  
DWG NO:

DM-101.00



**4** THIRD FLOOR PLAN -- DEMOLITION  
1/4" = 1'-0"

**2** FIRST FLOOR PLAN -- DEMOLITION  
1/4" = 1'-0"



**3** SECOND FLOOR PLAN -- DEMOLITION  
1/4" = 1'-0"

**1** CELLAR FLOOR PLAN -- DEMOLITION  
1/4" = 1'-0"

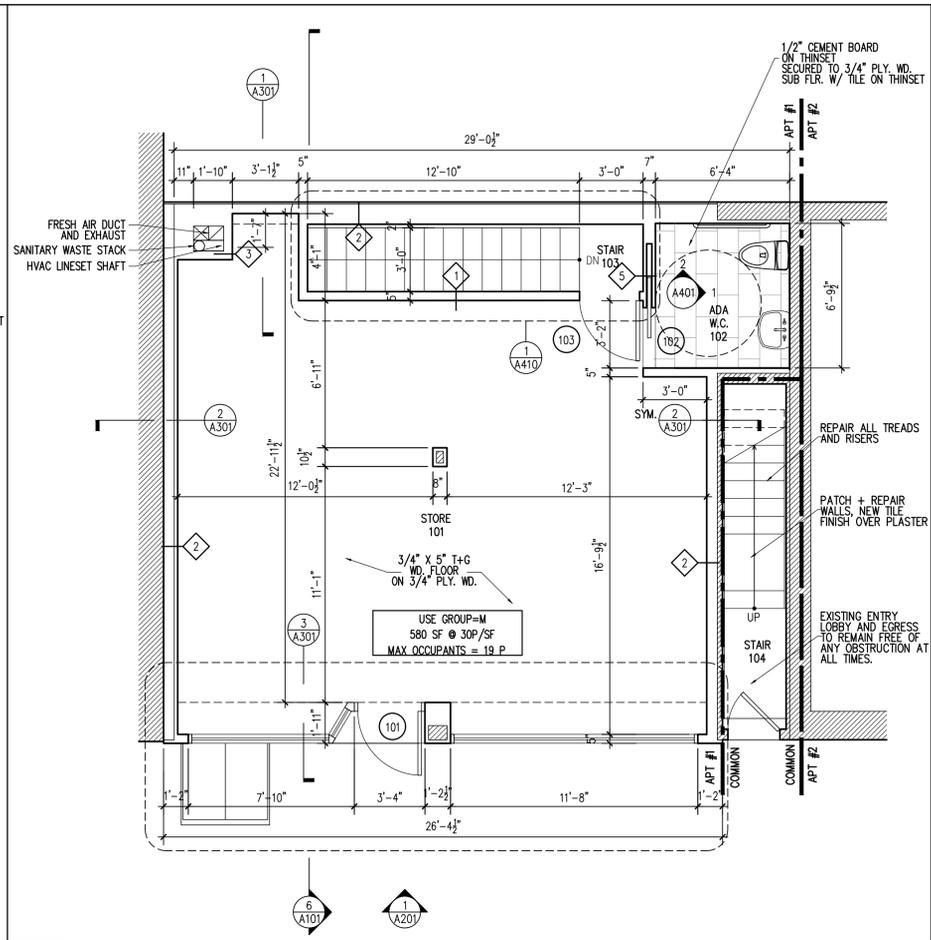
**5** ROOF PLAN -- DEMOLITION  
1/4" = 1'-0"

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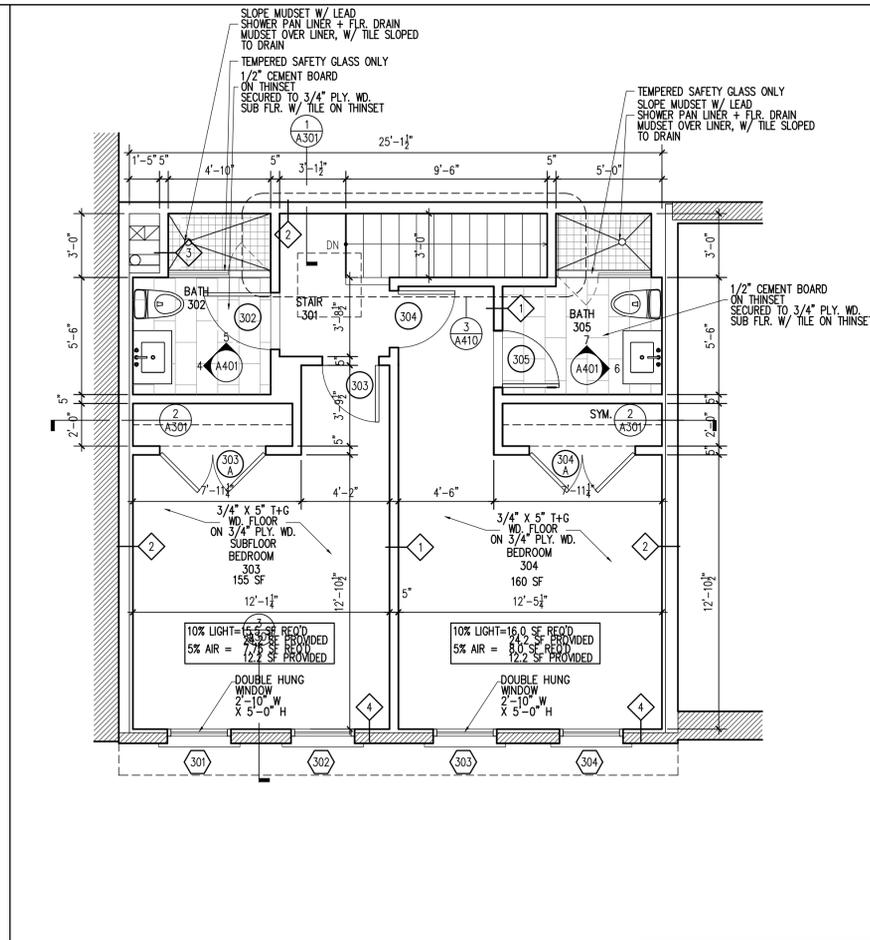
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PROPOSED PLANS  
 CELLAR, 1ST, 2ND, 3RD  
 ROOF + BLDG SECTION

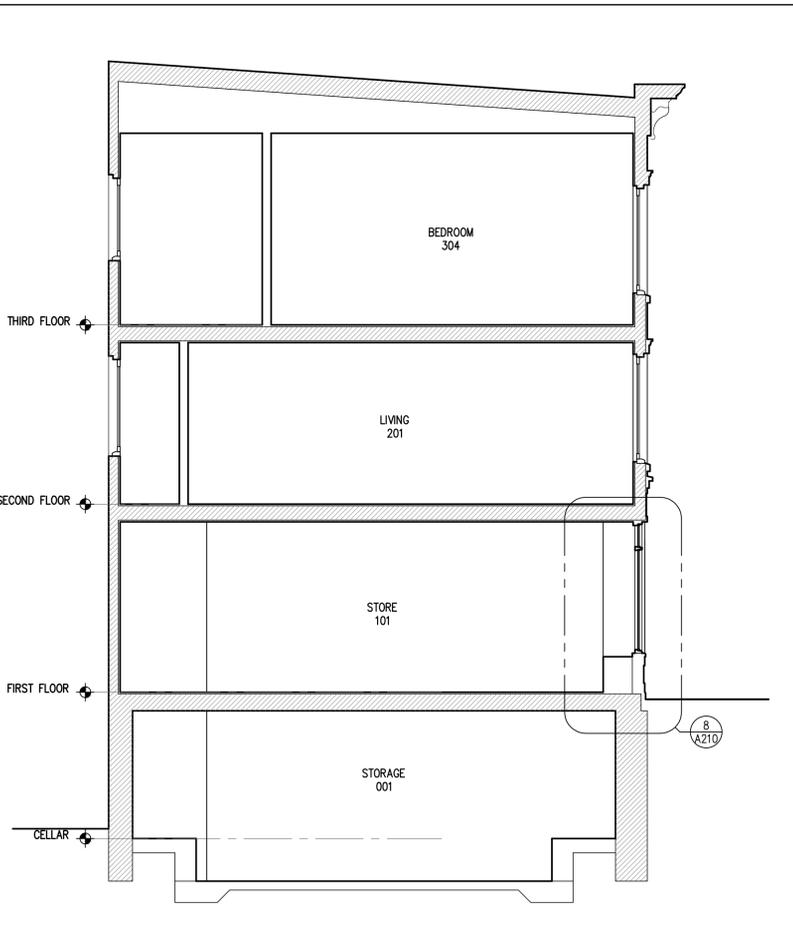
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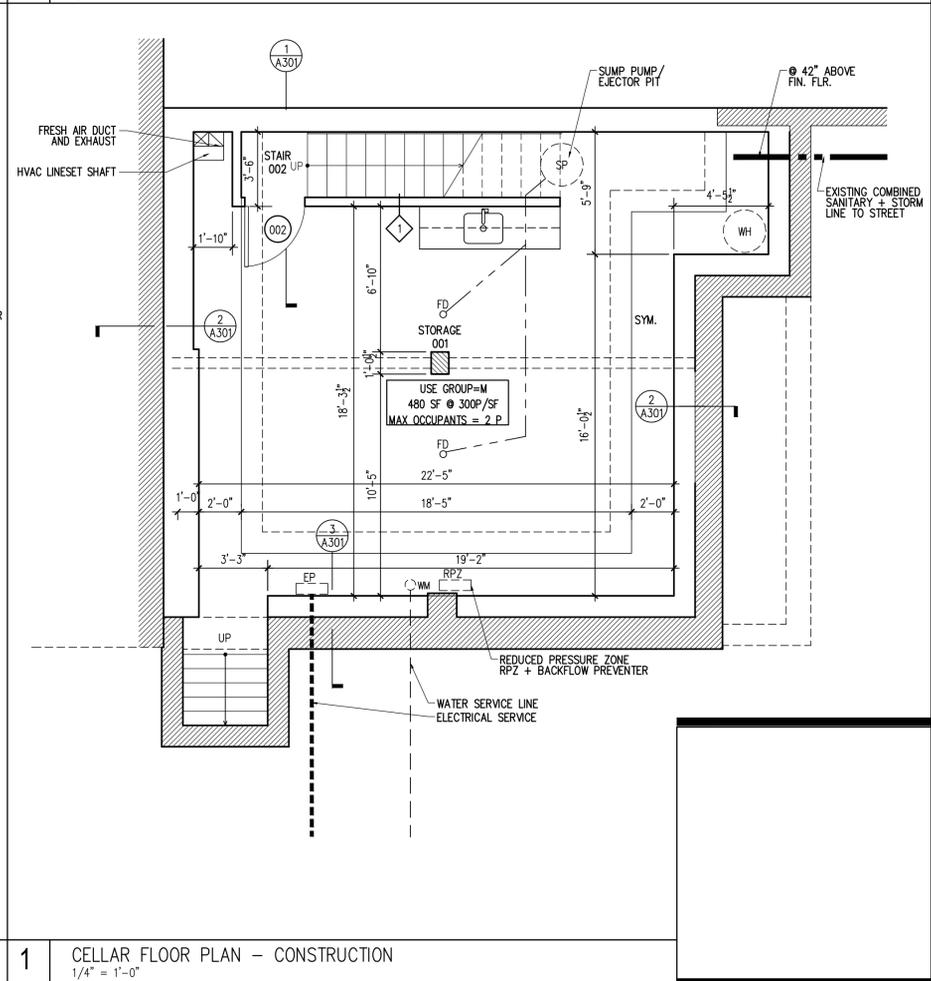
2 FIRST FLOOR PLAN - CONSTRUCTION  
 1/4" = 1'-0"



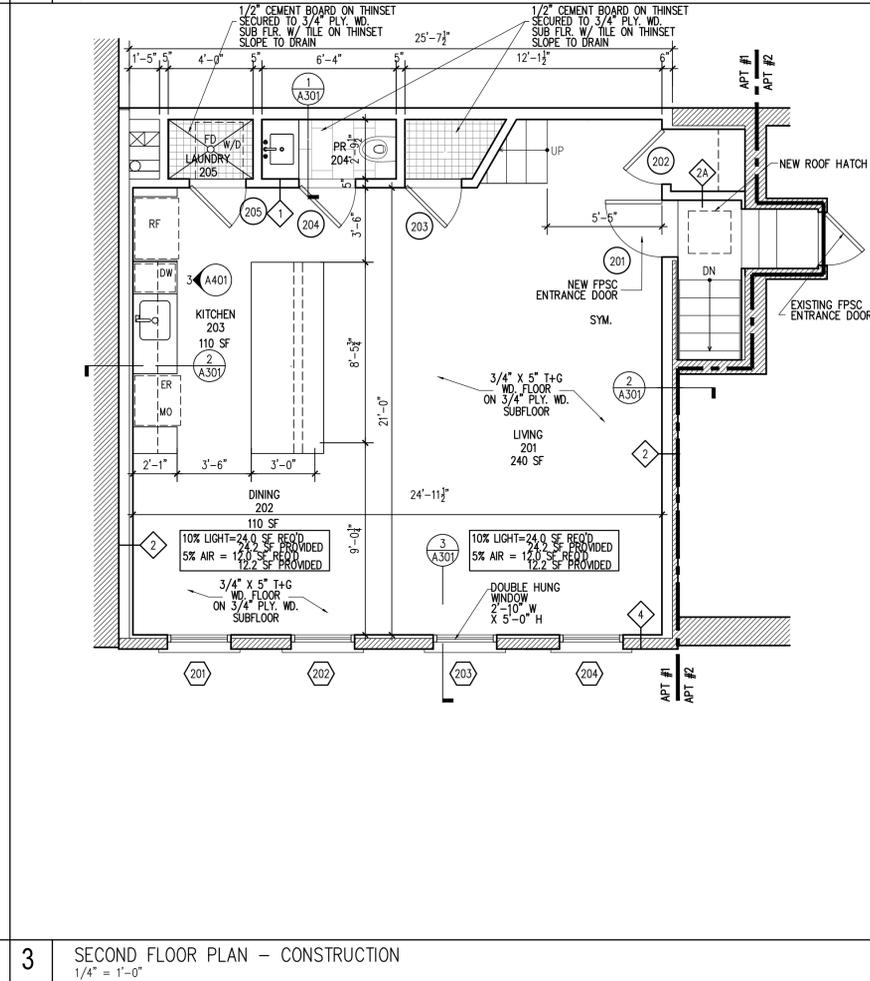
4 THIRD FLOOR PLAN - CONSTRUCTION  
 1/4" = 1'-0"



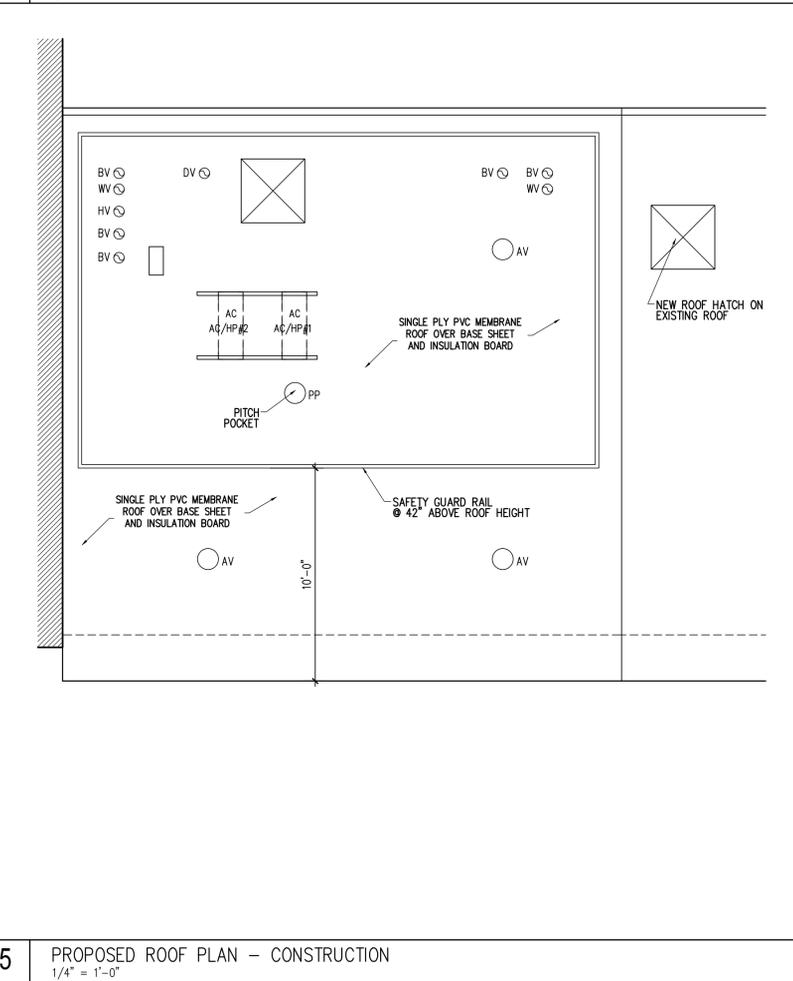
6 PROPOSED BUILDING SECTION  
 1/4" = 1'-0"



1 CELLAR FLOOR PLAN - CONSTRUCTION  
 1/4" = 1'-0"



3 SECOND FLOOR PLAN - CONSTRUCTION  
 1/4" = 1'-0"



5 PROPOSED ROOF PLAN - CONSTRUCTION  
 1/4" = 1'-0"

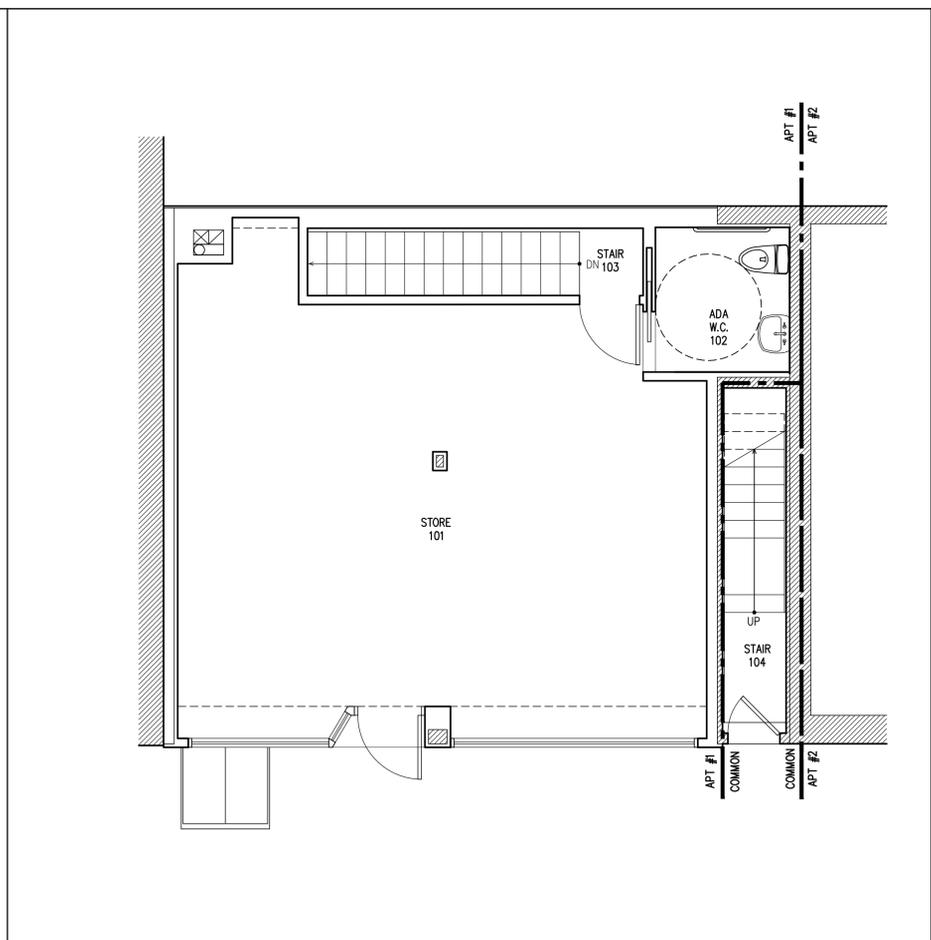
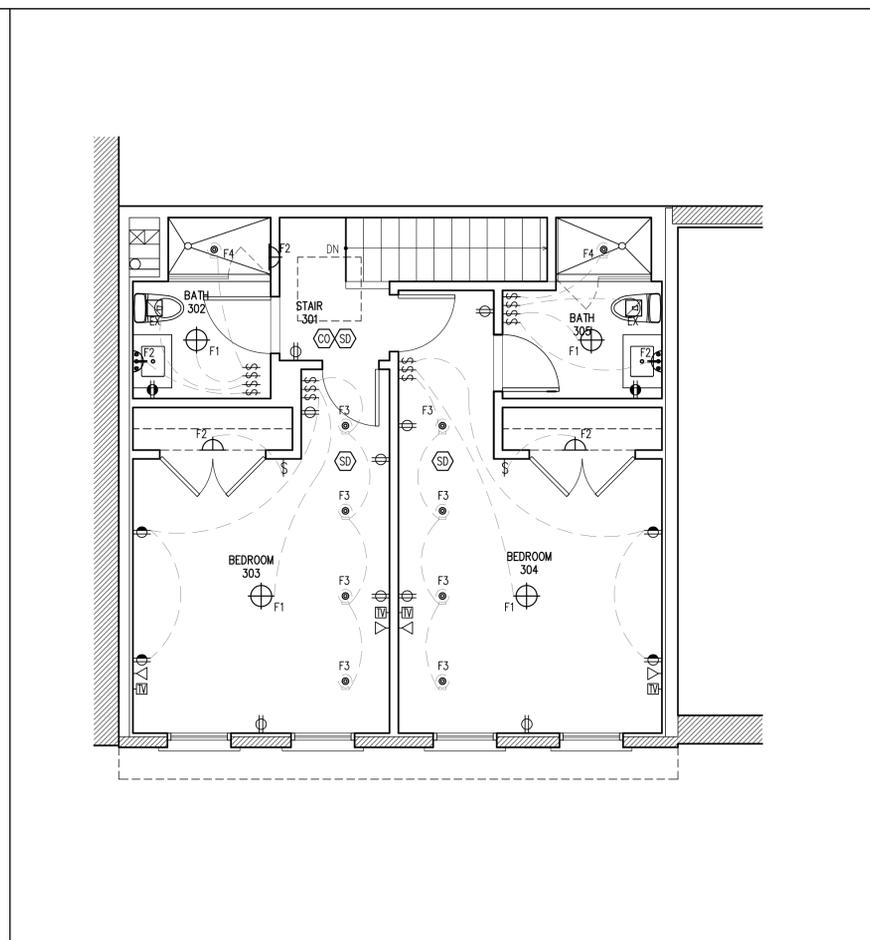
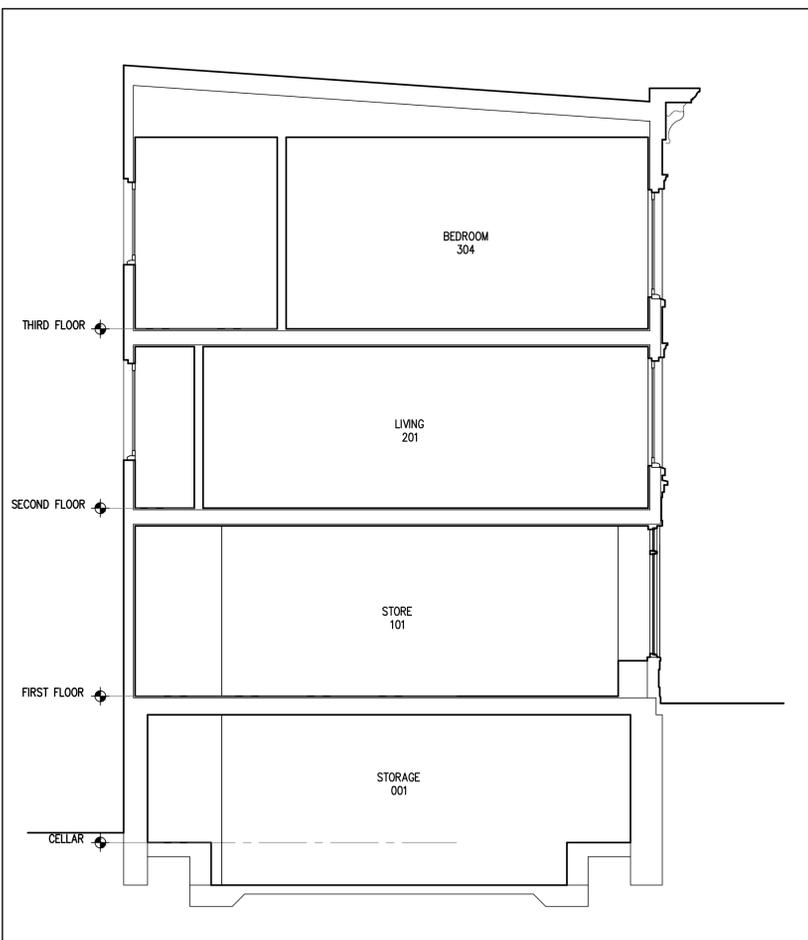
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POWER + LIGHTING  
CELLAR, 1ST, 2ND + 3RD  
FLOORS

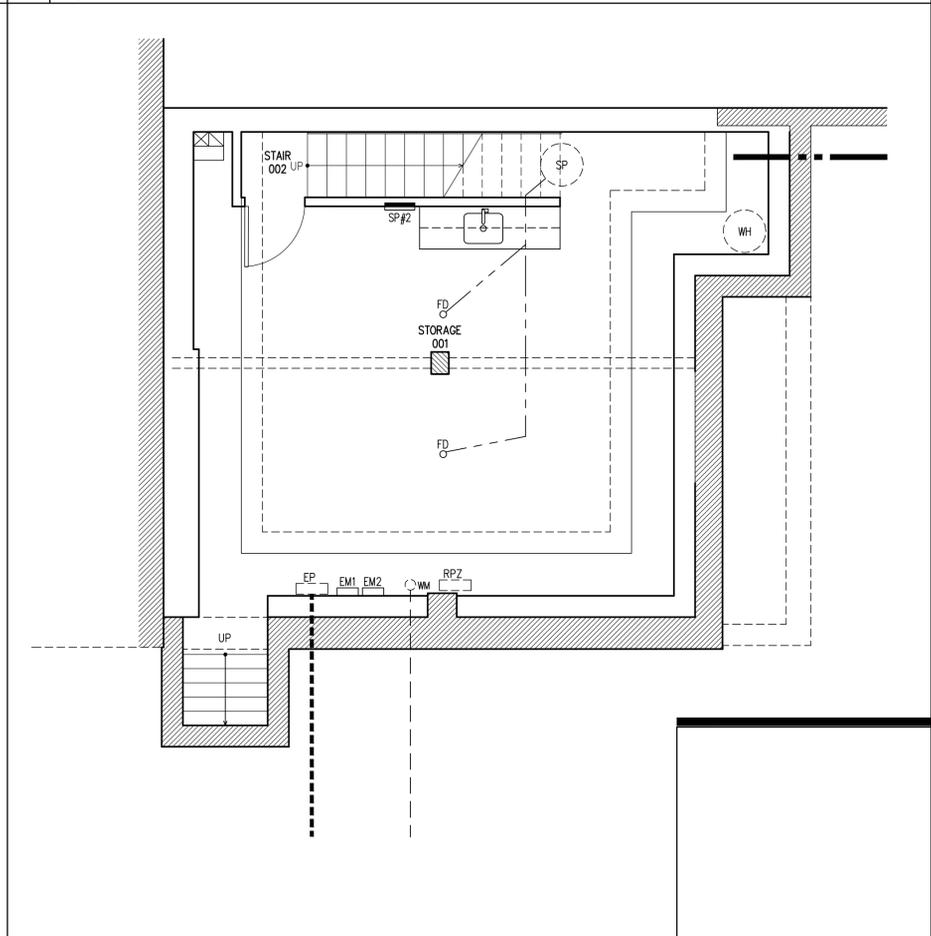
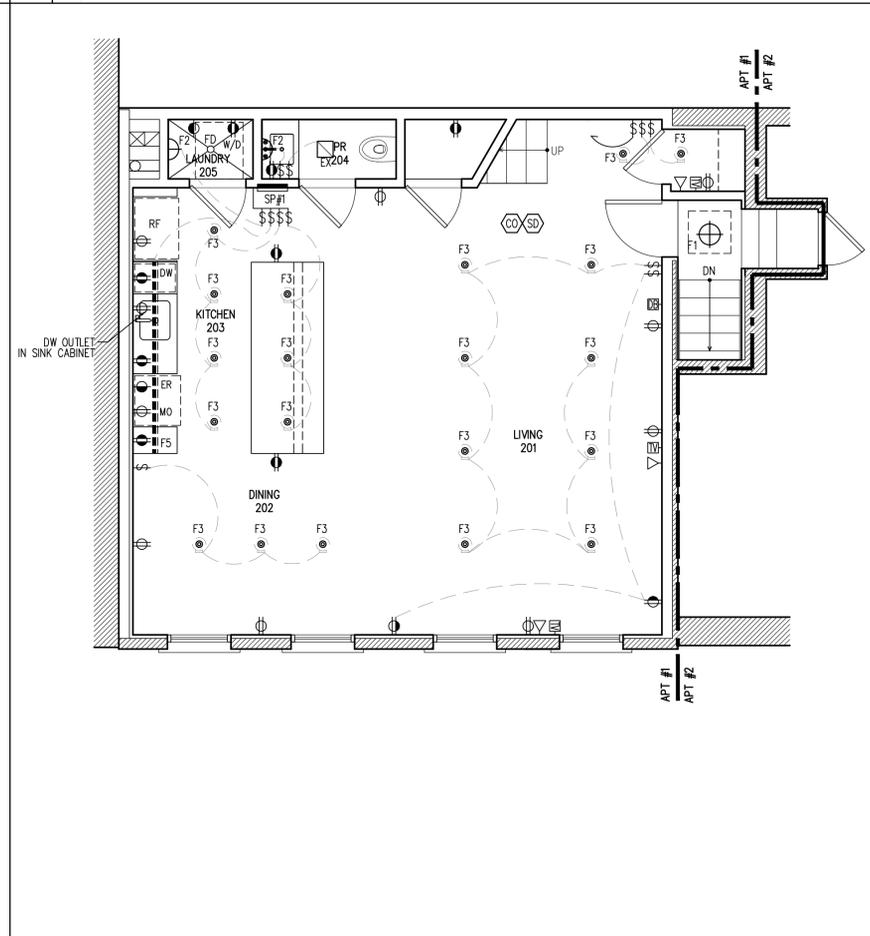
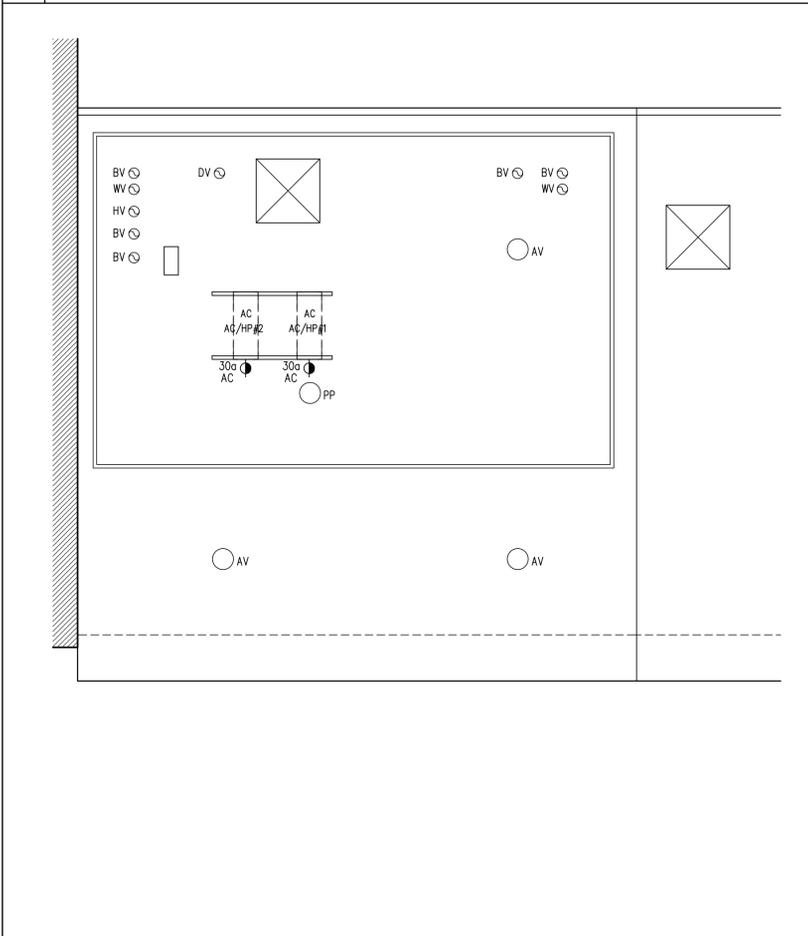
DATE: DEC 18, 2014  
PROJECT #: 2014-50  
DRAWING BY: NB  
CHECKED BY: NB  
DWG NO:

E-101.00



**4** THIRD FLOOR PLAN -- POWER + LIGHTING  
1/4" = 1'-0"

**2** FIRST FLOOR PLAN -- POWER + LIGHTING  
1/4" = 1'-0"



**3** SECOND FLOOR PLAN -- POWER + LIGHTING  
1/4" = 1'-0"

**1** CELLAR FLOOR PLAN -- POWER + LIGHTING  
1/4" = 1'-0"

**5** PROPOSED ROOF PLAN -- POWER + LIGHTING  
1/4" = 1'-0"

**233 BLEECKER STREET LLC**  
237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

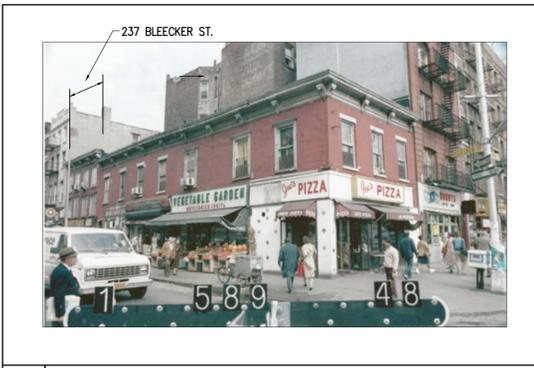
PROJECT:

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

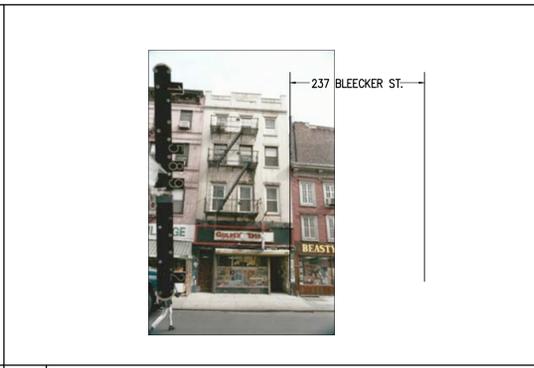
ELEVATION + SECTION

DATE: DEC 18, 2014  
PROJECT #: 2014-50  
DRAWING BY: NB  
CHECKED BY: NB  
DWG NO:

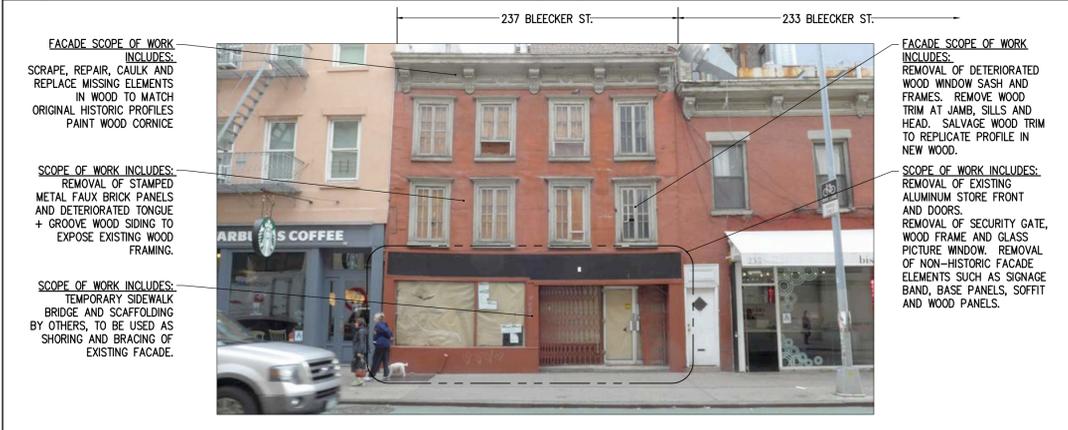
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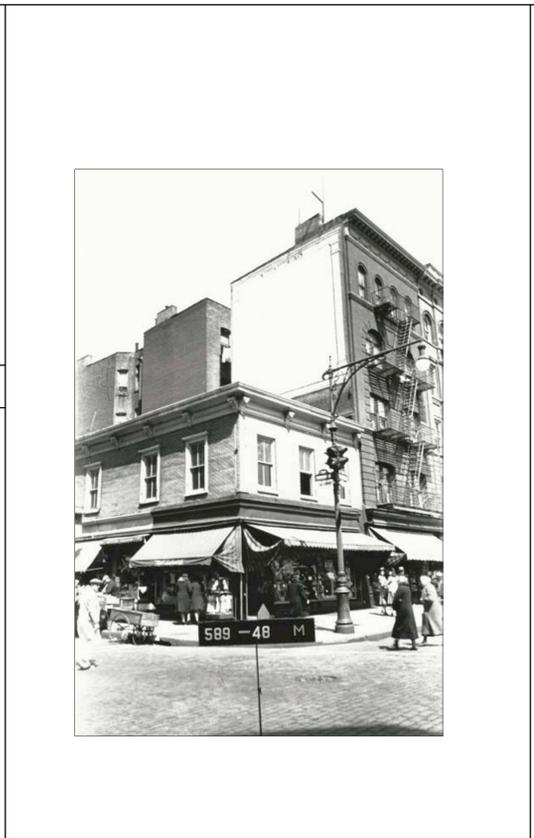
6 1980 TAX PHOTOGRAPH - 15 CARMINE STREET  
COURTESY OF NYC MUNICIPAL ARCHIVES



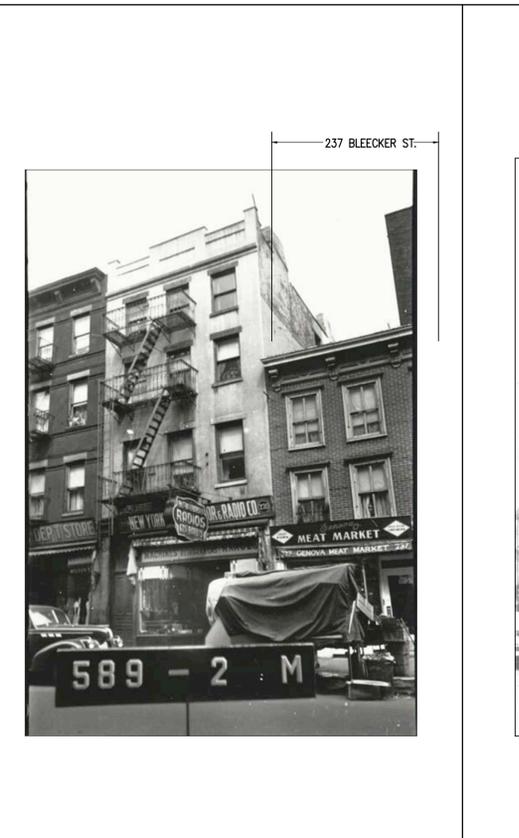
5 1980 TAX PHOTOGRAPH - 239 + 237 BLEECKER ST.  
COURTESY OF NYC MUNICIPAL ARCHIVES



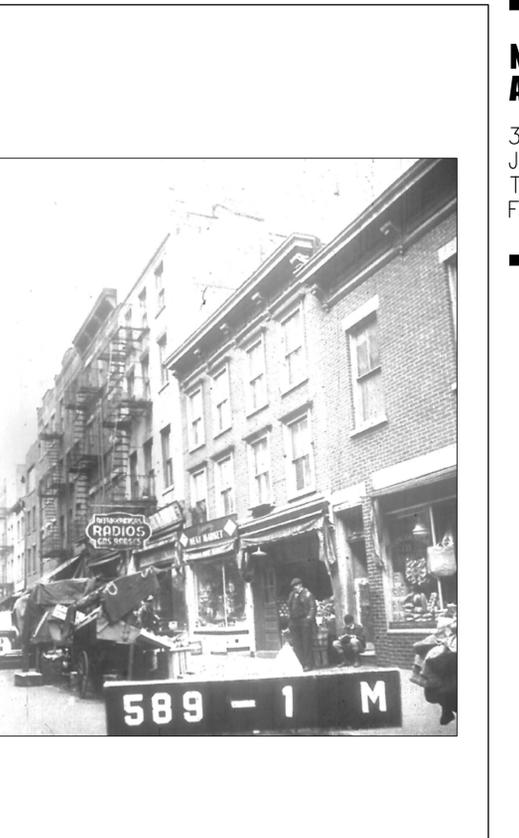
7 EXISTING CONDITION IMAGE - 2014 - AND SCOPE OF WORK  
NTS



4 1940 TAX PHOTOGRAPH - 233 BLEECKER ST.  
COURTESY OF NYC MUNICIPAL ARCHIVES



3A 1940 TAX PHOTOGRAPH - 239/237 BLEECKER ST.  
COURTESY OF NYC MUNICIPAL ARCHIVES



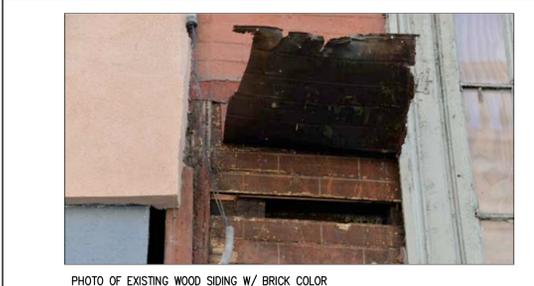
3 1940 TAX PHOTOGRAPH - 237 BLEECKER ST.  
COURTESY OF NYC MUNICIPAL ARCHIVES



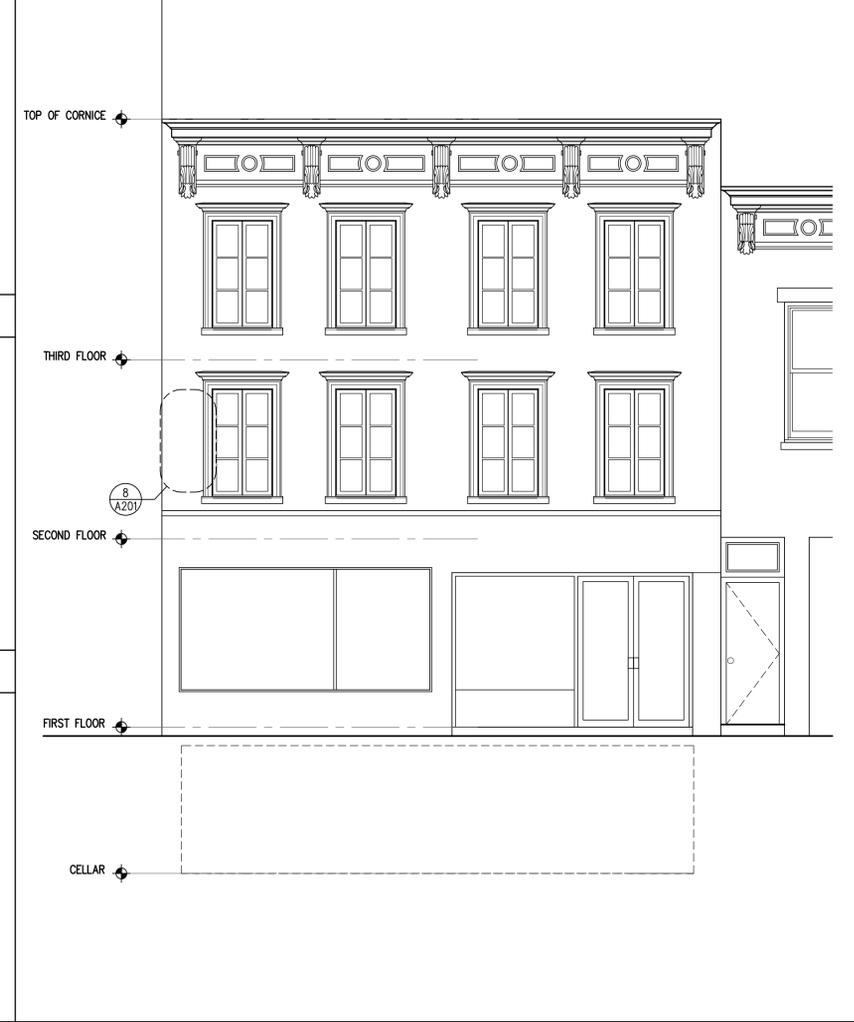
10 PHOTO OF EXISTING SIDING  
NTS



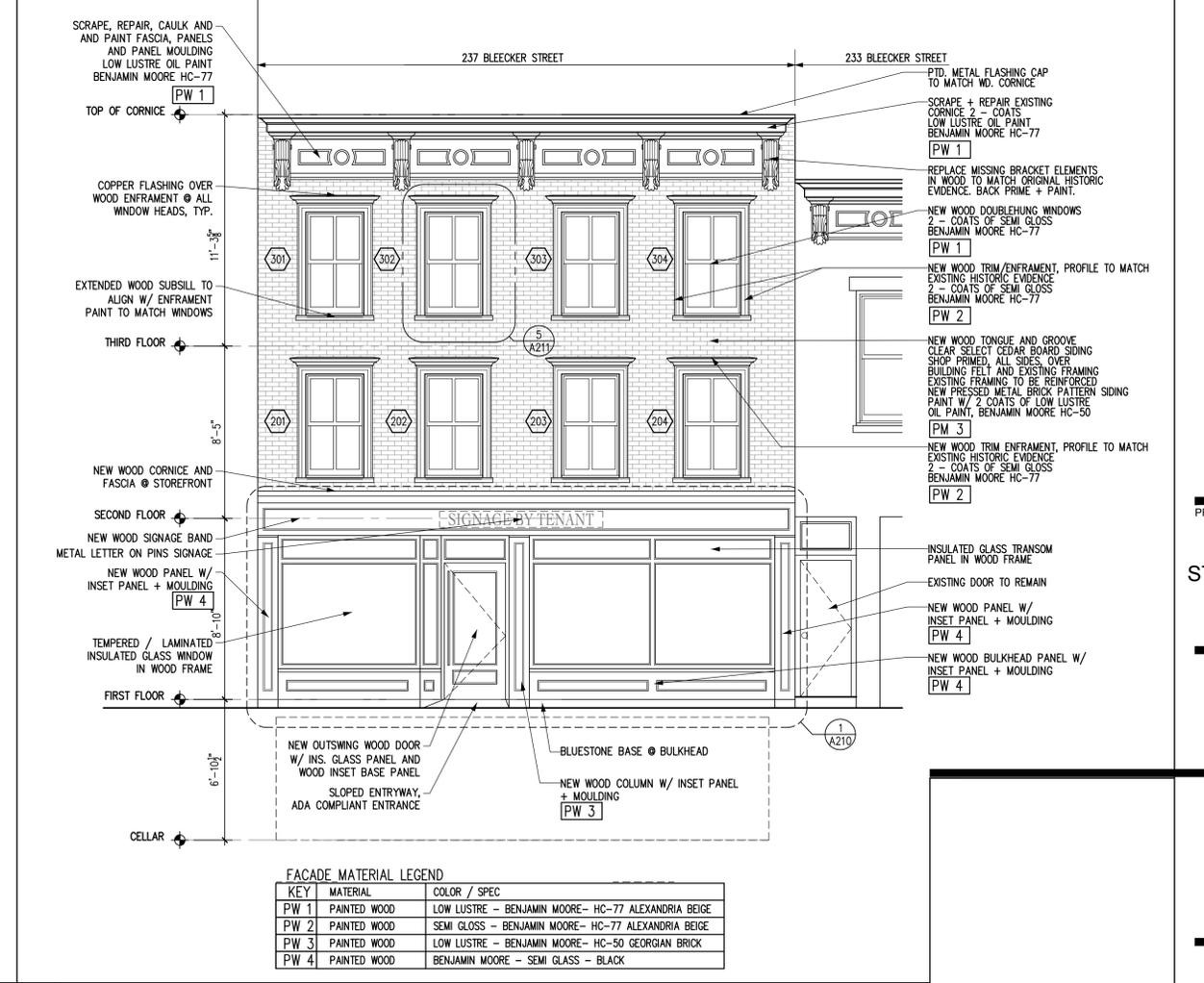
9 PHOTO OF EXISTING SIDING  
NTS



8 PHOTO OF EXISTING SIDING  
NTS



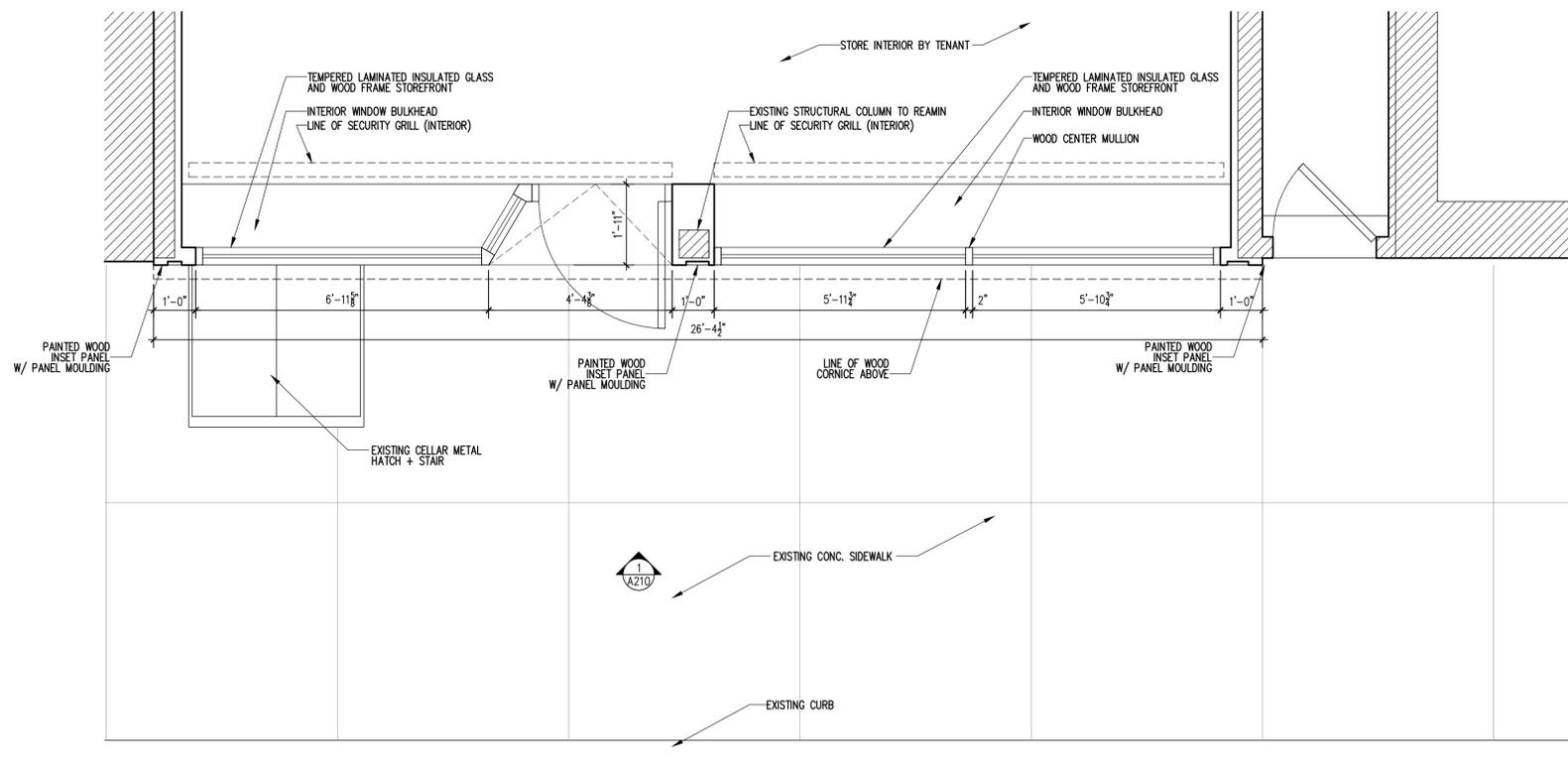
2 BLEECKER ST. ELEVATION - EXISTING CONDITION  
1/4" = 1'-0"



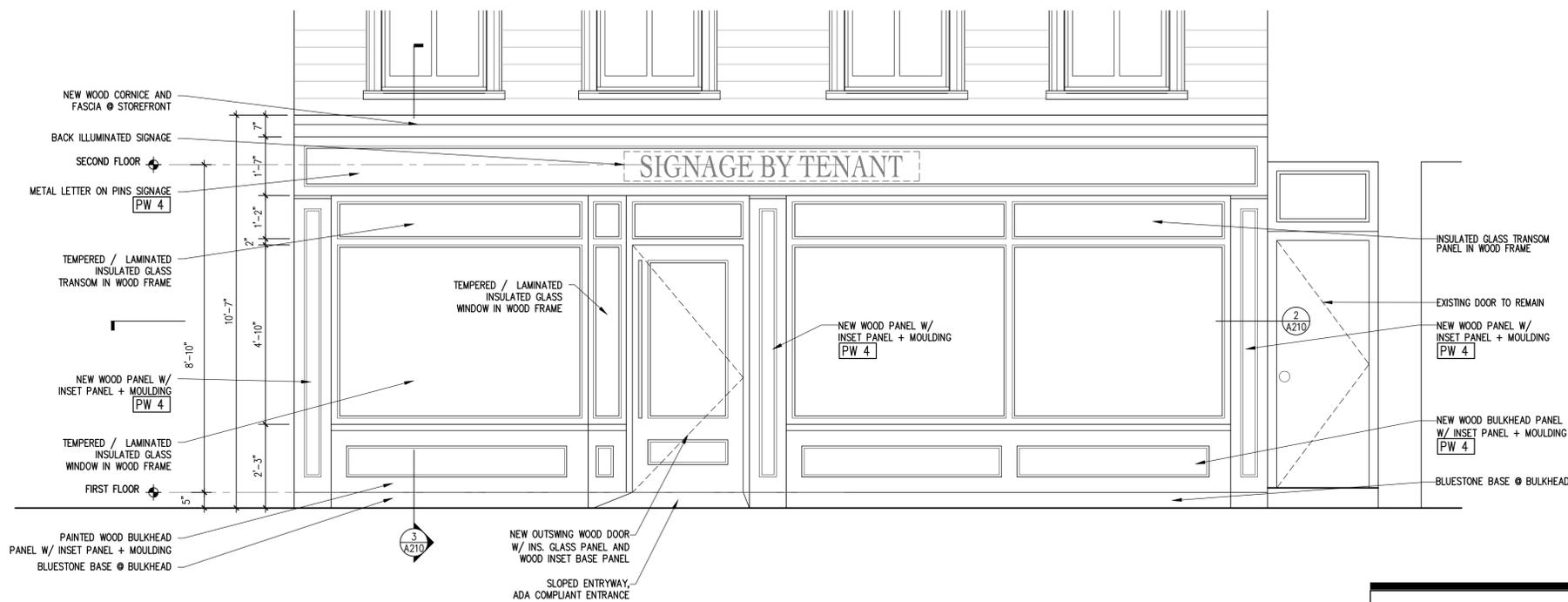
1 BLEECKER ST. ELEVATION - PROPOSED  
1/4" = 1'-0"

FACADE MATERIAL LEGEND

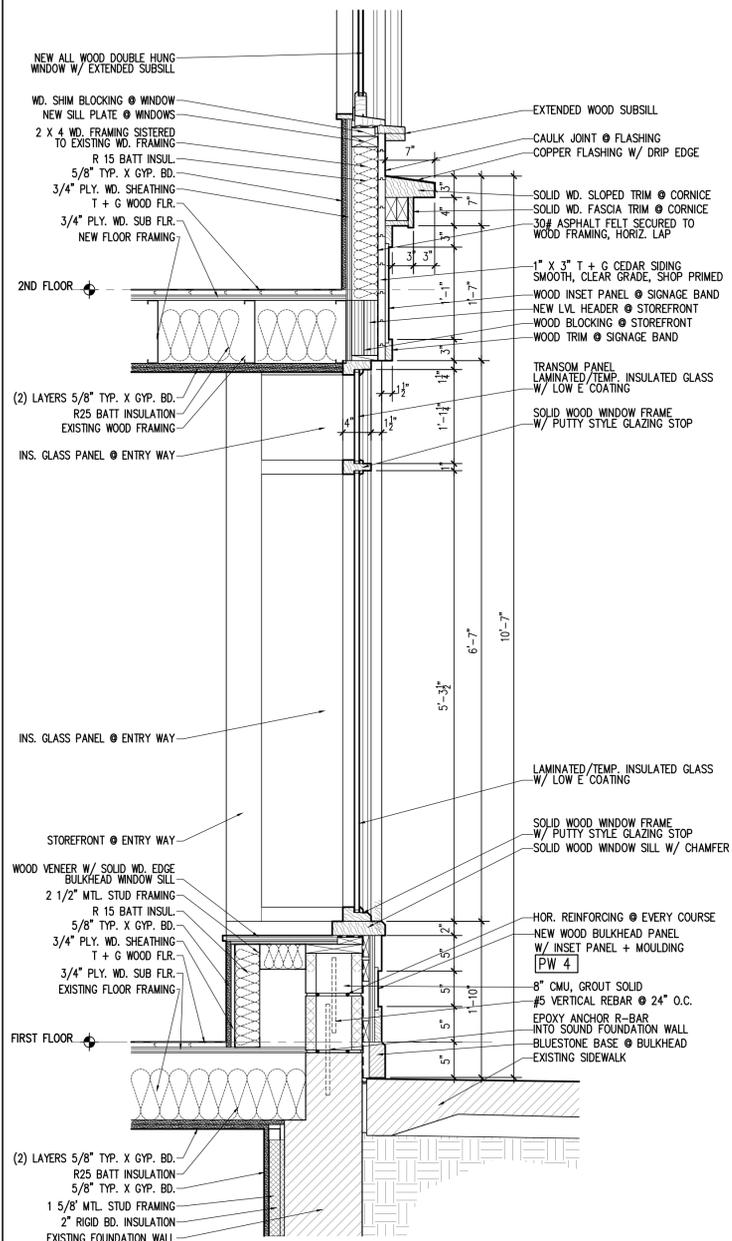
KEY	MATERIAL	COLOR / SPEC
PW 1	PAINTED WOOD	LOW LUSTRE - BENJAMIN MOORE- HC-77 ALEXANDRIA BEIGE
PW 2	PAINTED WOOD	SEMI GLOSS - BENJAMIN MOORE- HC-77 ALEXANDRIA BEIGE
PW 3	PAINTED WOOD	LOW LUSTRE - BENJAMIN MOORE- HC-50 GEORGIAN BRICK
PW 4	PAINTED WOOD	BENJAMIN MOORE - SEMI GLOSS - BLACK



2 STOREFRONT PLAN DETAIL  
1/2" = 1'-0"



1 BLEECKER ST. STOREFRONT ELEVATION - PROPOSED  
1/2" = 1'-0"



3 STOREFRONT WALL SECTION  
1' = 1'-0"



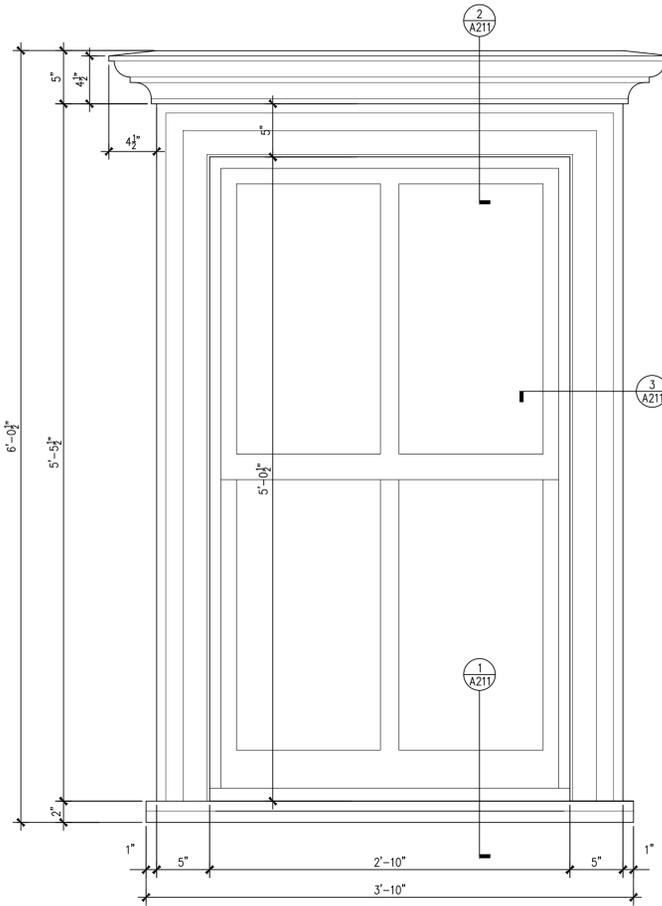
8 EXISTING WINDOW SILL + ENFRAMENT PHOTO  
NTS



7 EXISTING WINDOW HEAD + ENFRAMENT PHOTO  
NTS



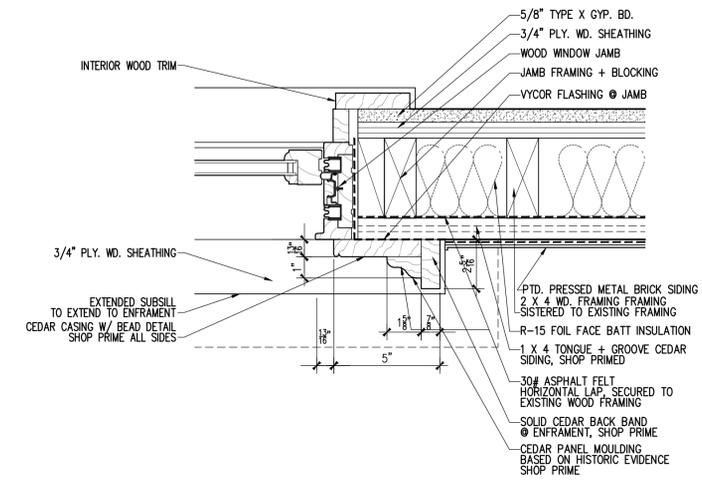
6 EXISTING WINDOW + ENFRAMENT PHOTO  
NTS



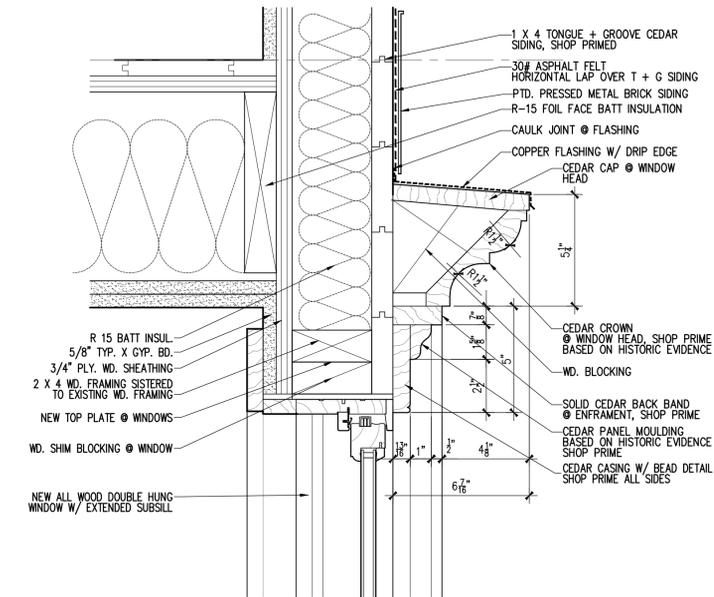
5 TYPICAL WINDOW ELEVATION W/ ENFRAMENT  
3" = 1'-0"

WINDOW #	FRAME SIZE	CALL #	DESCRIPTION
201	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
202	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
203	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
204	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
301	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
302	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
303	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER
304	35 1/2" W X 5'-1" H	WJDH3026	ALL WOOD DOUBLE HUNG WINDOW PUTTY STYLE GLAZING, 7/8" SGL. 2W/H OVER 2W/H INSULATED GLASS - TEMPERED SAFETY GLASS*** NO BRICK MOULD, ADD SUBSILL EXTENDED SILL HORNS, VERIFY PRIOR TO ORDER

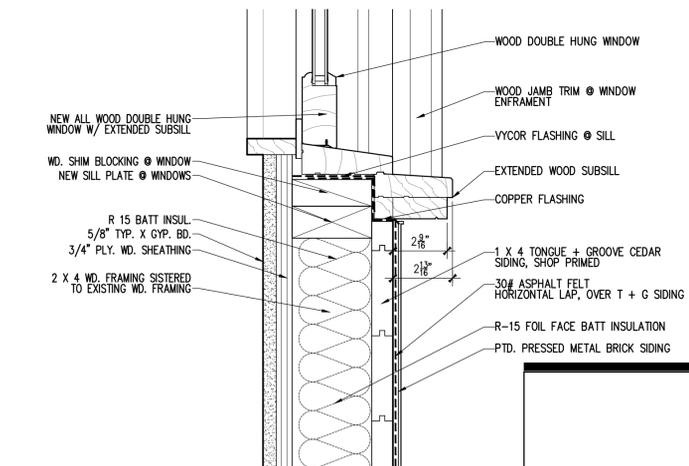
4 WINDOW SCHEDULE  
3" = 1'-0"



3 WINDOW JAMB DETAIL  
3" = 1'-0"



2 WINDOW HEAD DETAIL  
3" = 1'-0"



1 WINDOW SILL DETAIL  
3" = 1'-0"

**Nelson Benavides Architect**

361 EIGHTH STREET  
JERSEY CITY NJ 07302  
Tel: 917.846.8613  
Fax: 917.591.8969

**233 BLEECKER STREET LLC**  
237 BLEECKER ST. NEW YORK, NY 10017  
STOREFRONT, FACADE RESTORATION + RECONSTRUCTION

PROJECT:  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

WINDOW DETAILS  
ENFRAMENT DTLS.  
WINDOW SCHEDULE

DATE: DEC 18, 2014  
PROJECT #: 2014-50  
DRAWING BY: NB  
CHECKED BY: NB  
DWG NO:

A-211.00



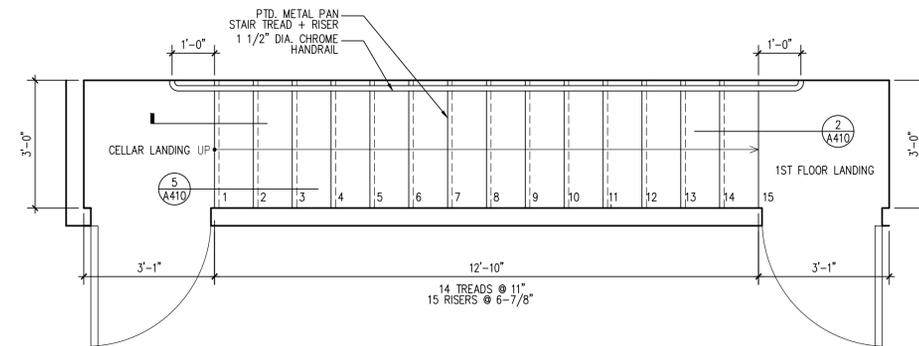
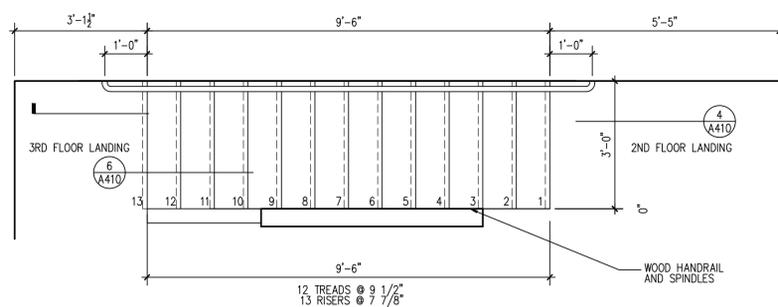
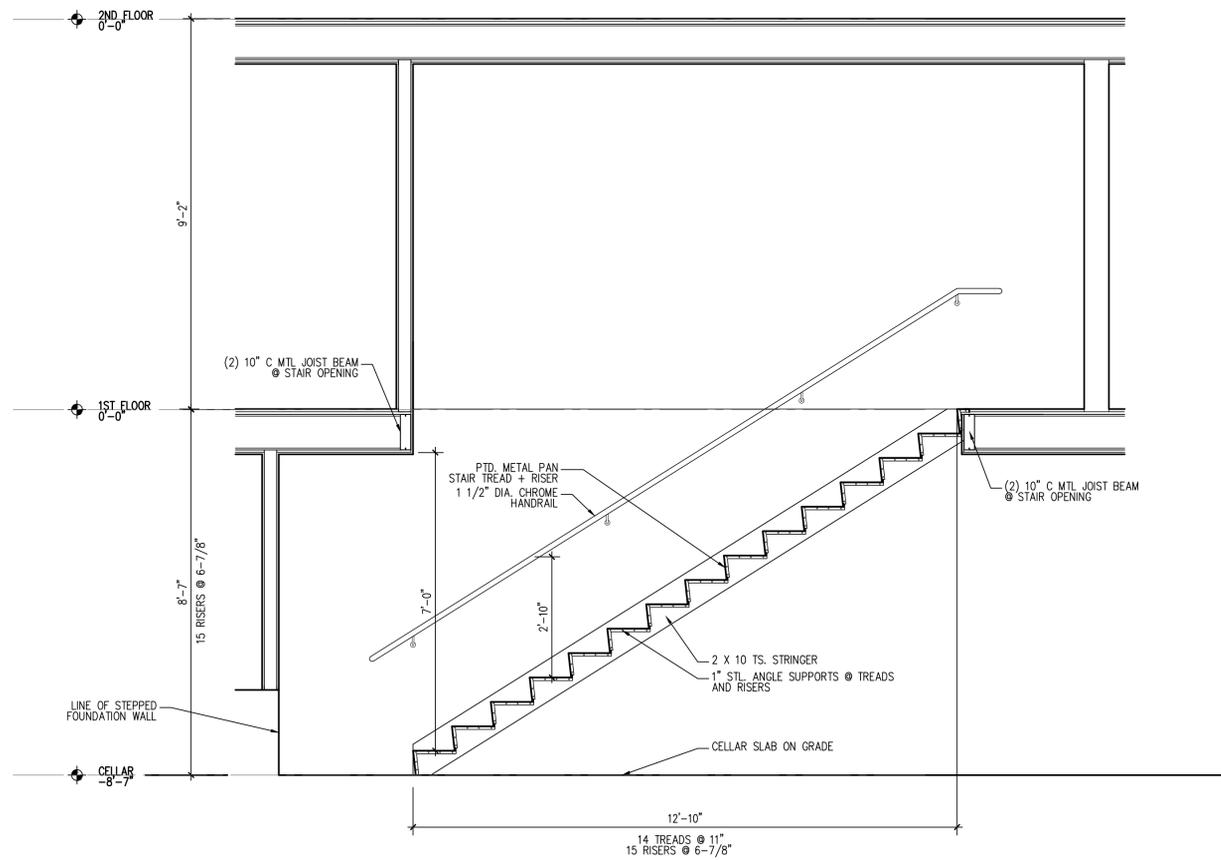
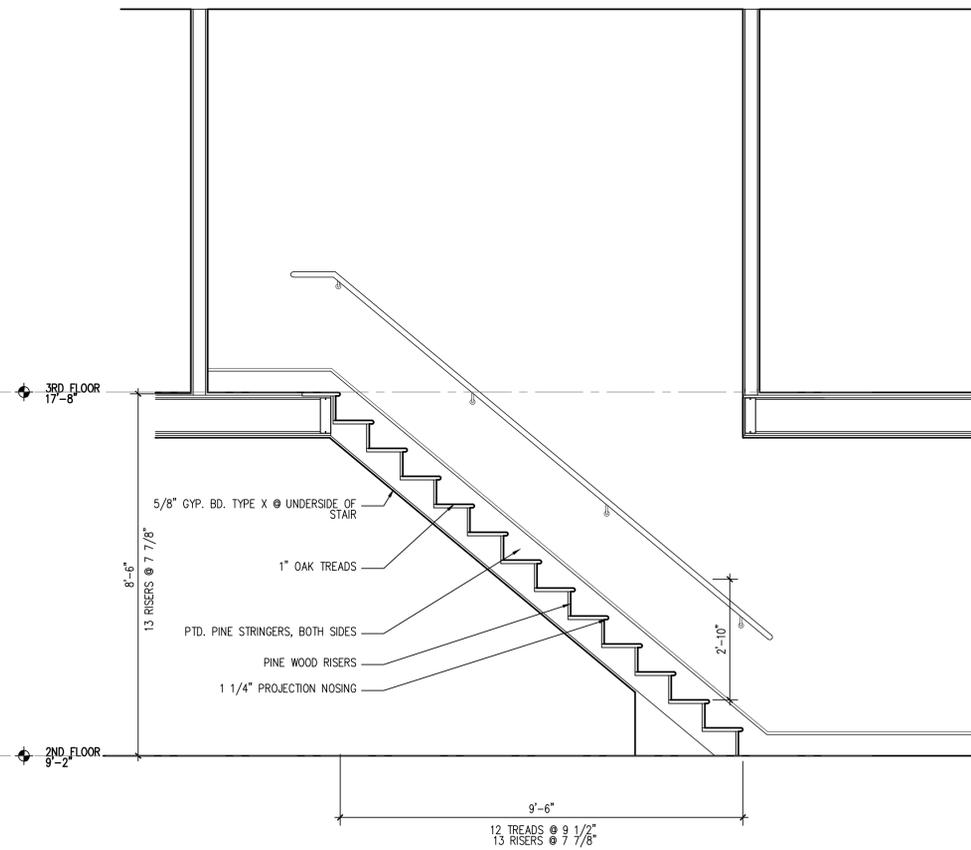
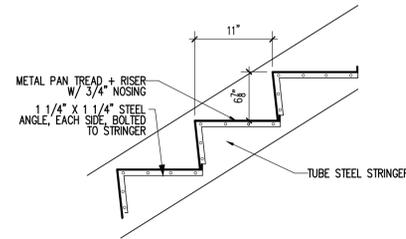
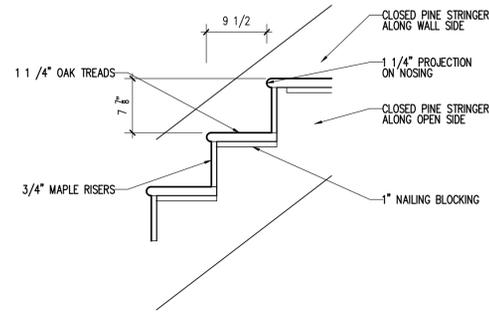
PROJECT:

233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

STAIR PLANS + SECTIONS  
STAIR DETAILS

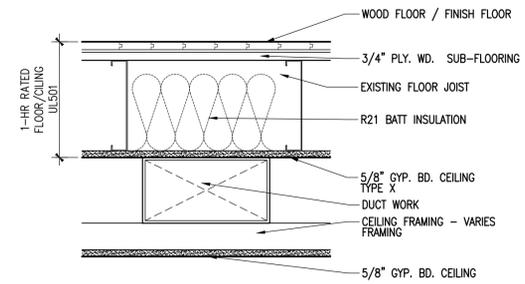
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PROJECT #: 2014-50  
DRAWING BY: NB  
CHECKED BY: NB  
DWG NO:

A-410.00

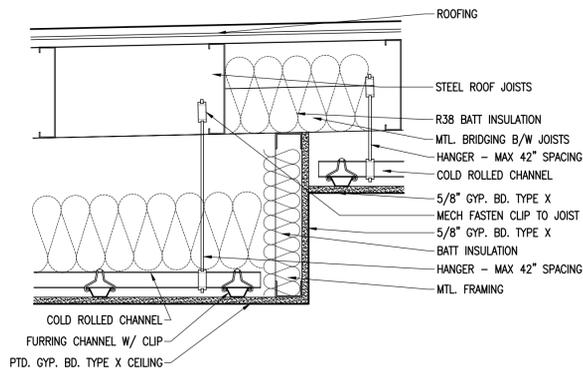


3 STAIR PLAN - 2ND FLOOR TO 3RD FLOOR  
1/2" = 1'-0"

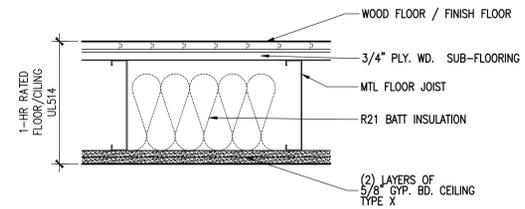
1 STAIR PLAN - 1ST FLOOR TO CELLAR  
1/2" = 1'-0"



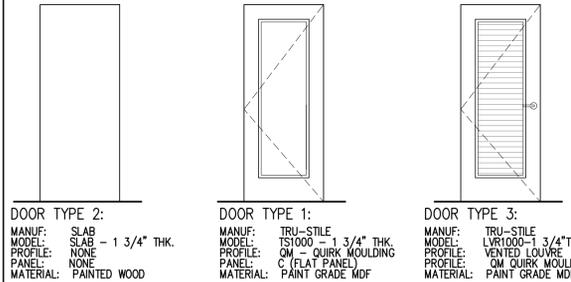
**3** CEILING FRAMING - 1 HR FIRERATED - SOFFIT  
1 1/2" = 1'-0"



**5** CEILING FRAMING - @ 3RD FLOOR  
1 1/2" = 1'-0"



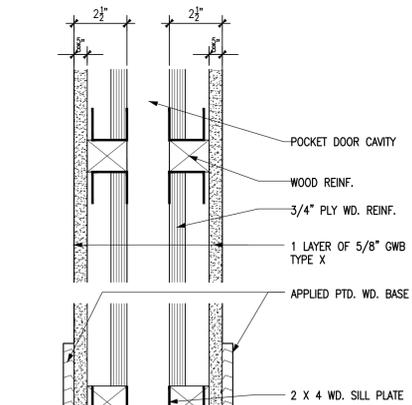
**2** CEILING FRAMING - 1 HR RATED  
1 1/2" = 1'-0"



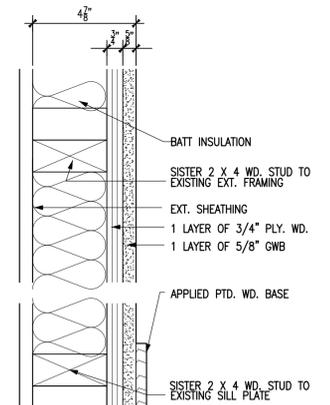
**12** DOOR ELEVATIONS  
NTS

DOOR #	SIZE	TYPE	HARDWARE	CASING IN / OUT
002	34" X 80"	FPSC - H.M. 3/4 HR RATED DOOR	PASSAGE SET	HOLLOW METAL
101	36" X 80"	ENTRY DOOR - SEE ELEV 1/A210	ENTRY SET / DEAD BOLT	TYPE 3 / FLAT
102	34" X 80"	TYPE 2 - ADA COMPL. HAWA JR. 40/B	POCKET DOOR / PASAGE SET	FLAT / FLAT
103	34" X 80"	FPSC - H.M. 3/4 HR RATED DOOR	PASSAGE SET	HOLLOW METAL
201	34" X 80"	FPSC - H.M. 3/4 HR RATED DOOR	ENTRY SET	HOLLOW METAL
202	34" X 80"	WOOD DOOR - TYPE 1	CLOSET SET	FLAT / TYPE 3
203	30" X 80"	WOOD DOOR - TYPE 1	CLOSET SET	FLAT / TYPE 3
204	28" X 80"	WOOD DOOR - TYPE 1	PRIVACY SET	FLAT / TYPE 3
205	28" X 80"	LOUVER WOOD DOOR - TYPE 3	CLOSET SET	FLAT / TYPE 3
301	32" X 84"	WOOD DOOR - TYPE 1	PRIVACY SET	TYPE 3 / TYPE 3
302	32" X 84"	WOOD DOOR - TYPE 1	PRIVACY SET	TYPE 3 / TYPE 3
303	32" X 84"	WOOD DOOR - TYPE 1	PRIVACY SET	TYPE 3 / TYPE 3
303A	(2) 30" X 84"	WOOD DOOR - TYPE 3	BALL CATCH / DUMMY SET	FLAT / TYPE 3
304	32" X 84"	WOOD DOOR - TYPE 1	PRIVACY SET	TYPE 3 / TYPE 3
304A	(2) 30" X 84"	WOOD DOOR - TYPE 3	BALL CATCH / DUMMY SET	FLAT / TYPE 3
305	32" X 84"	WOOD DOOR - TYPE 1	PRIVACY SET	TYPE 3 / TYPE 3

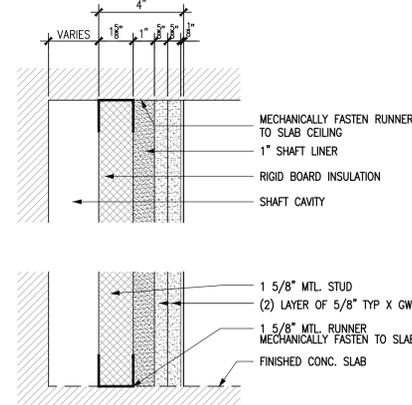
**11** DOOR SCHEDULE  
NTS



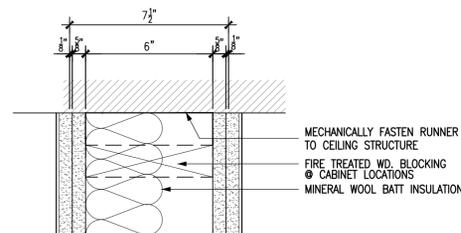
**5** PTD. GWB / PTD. GWB  
3" = 1'-0"



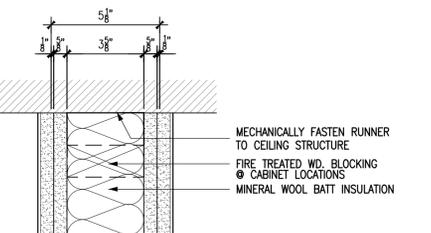
**4** EXISTING FRAMING / PTD. GWB  
3" = 1'-0"



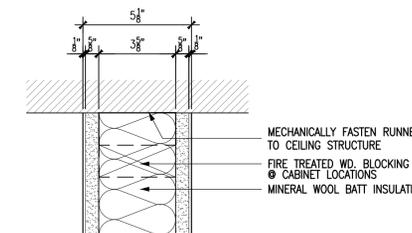
**3** 2HR RATED SHAFT WALL  
3" = 1'-0"



**2** PTD. GWB - UL U308  
3" = 1'-0" - MEA # 81-98-M VOL 3



**2A** PTD. GWB - UL U308  
3" = 1'-0" - MEA # 81-98-M VOL 3



**1** PTD. GWB - UL U308  
3" = 1'-0" - MEA # 81-98-M VOL 3

**1** WALL TYPES  
3" = 1'-0"

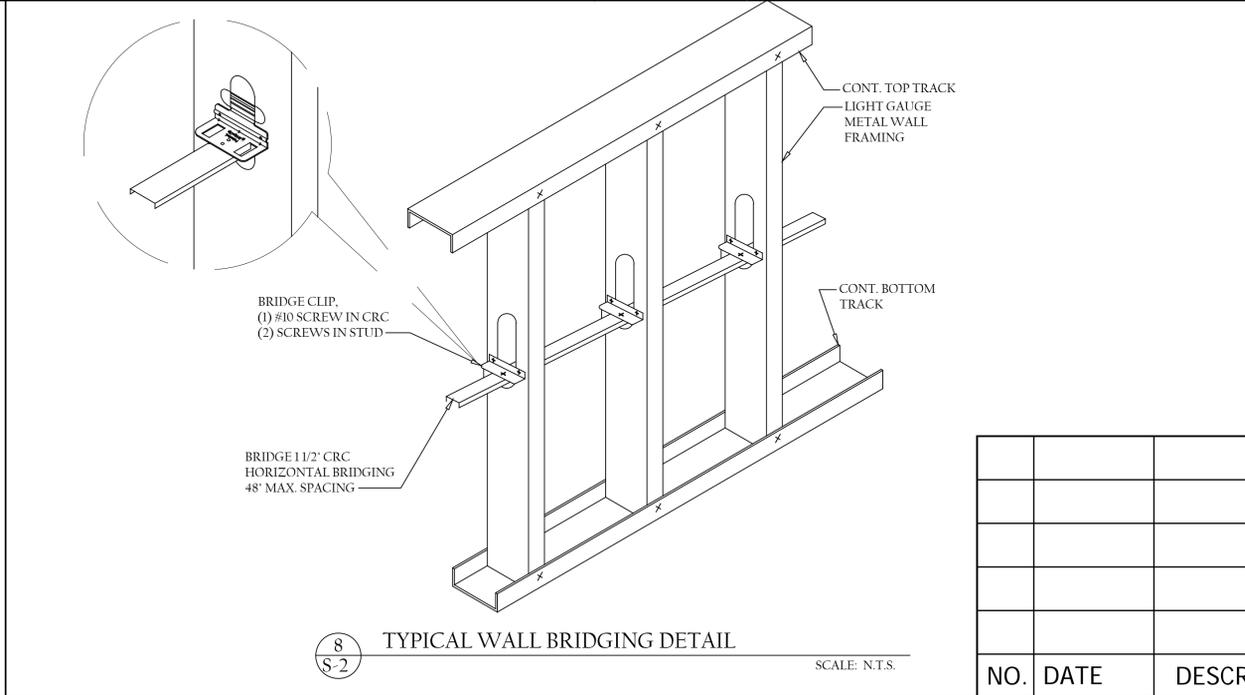
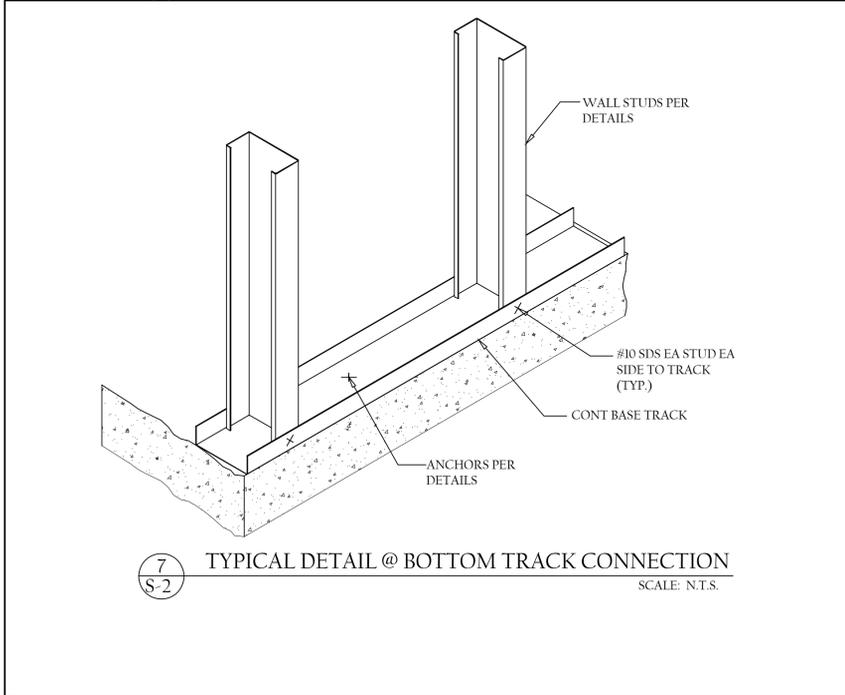
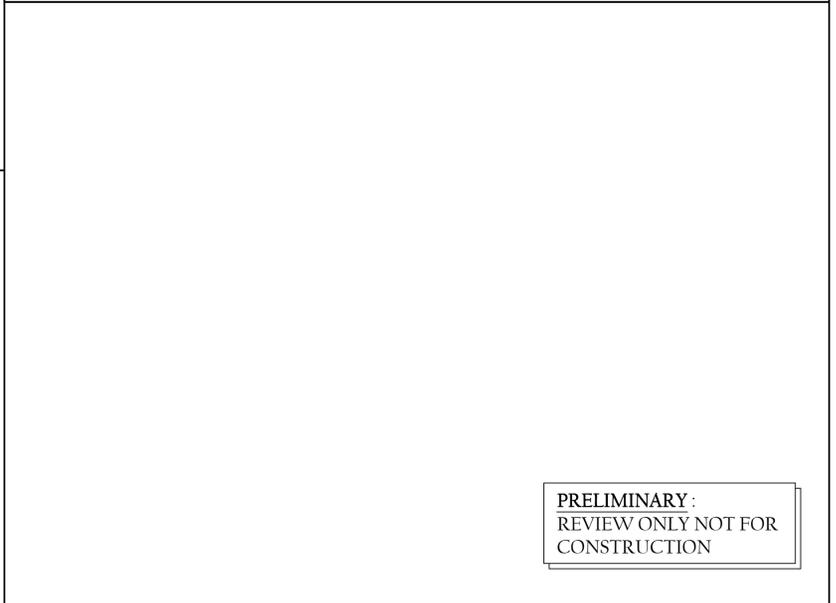
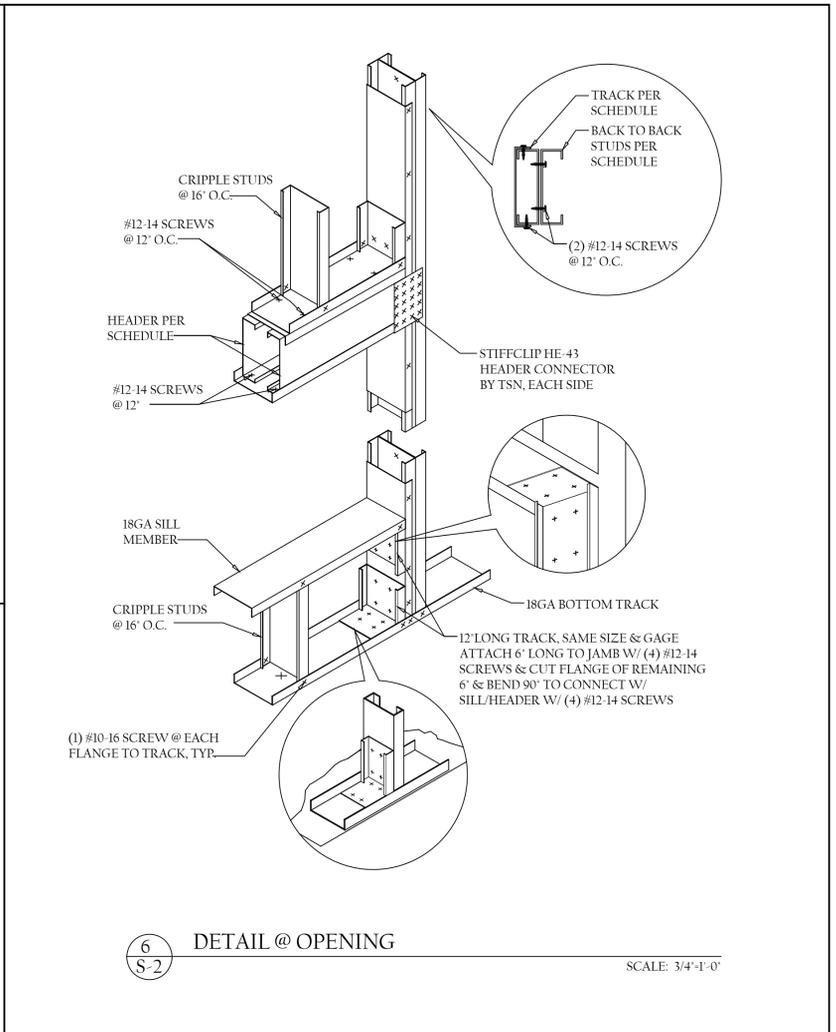
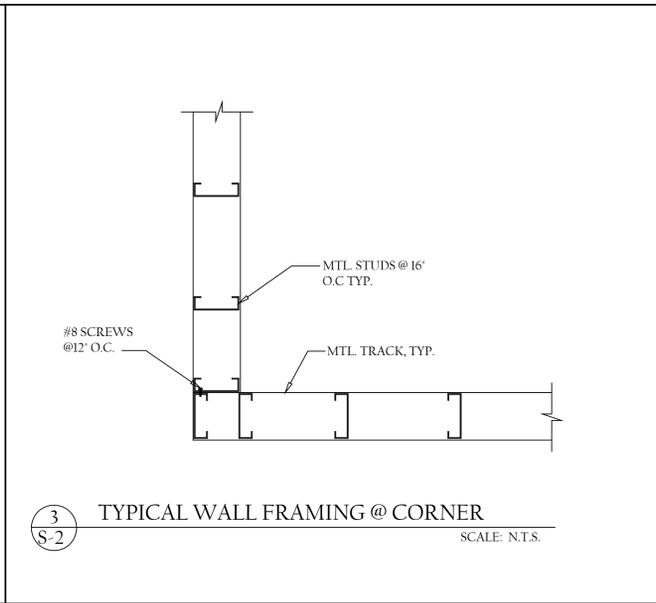
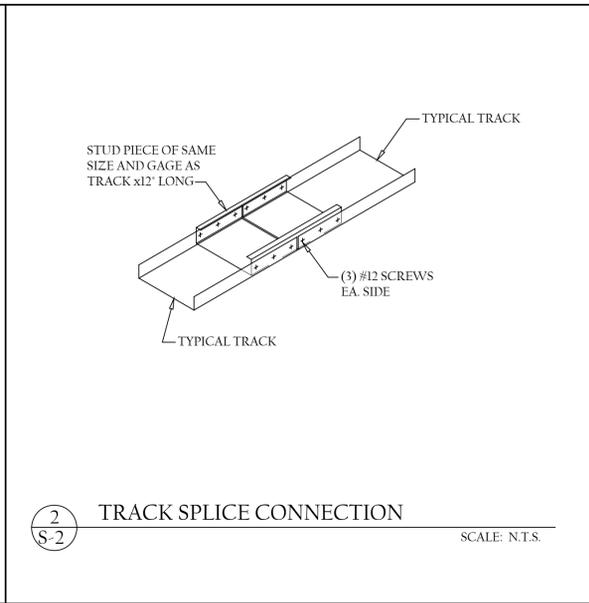
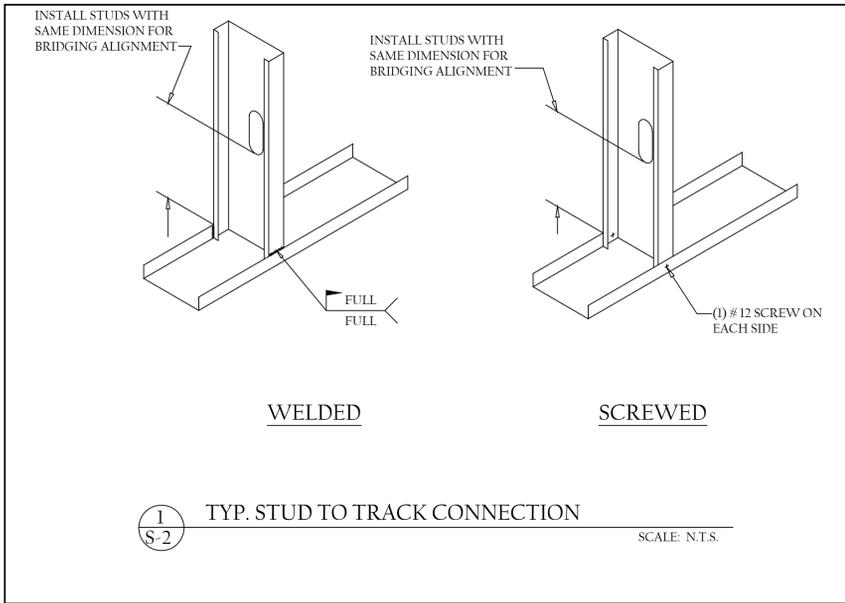
PROJECT:  
233 BLEECKER ST. LLC  
STOREFRONT + FACADE REST.  
237 BLEECKER ST.  
NEW YORK, NY 10017

WALL / CEILING TYPES

WINDOW / DOOR SCHEDULE

DATE: DEC 18, 2014  
PROJECT #: 2014-50  
DRAWING BY: NB  
CHECKED BY: NB  
DWG NO:

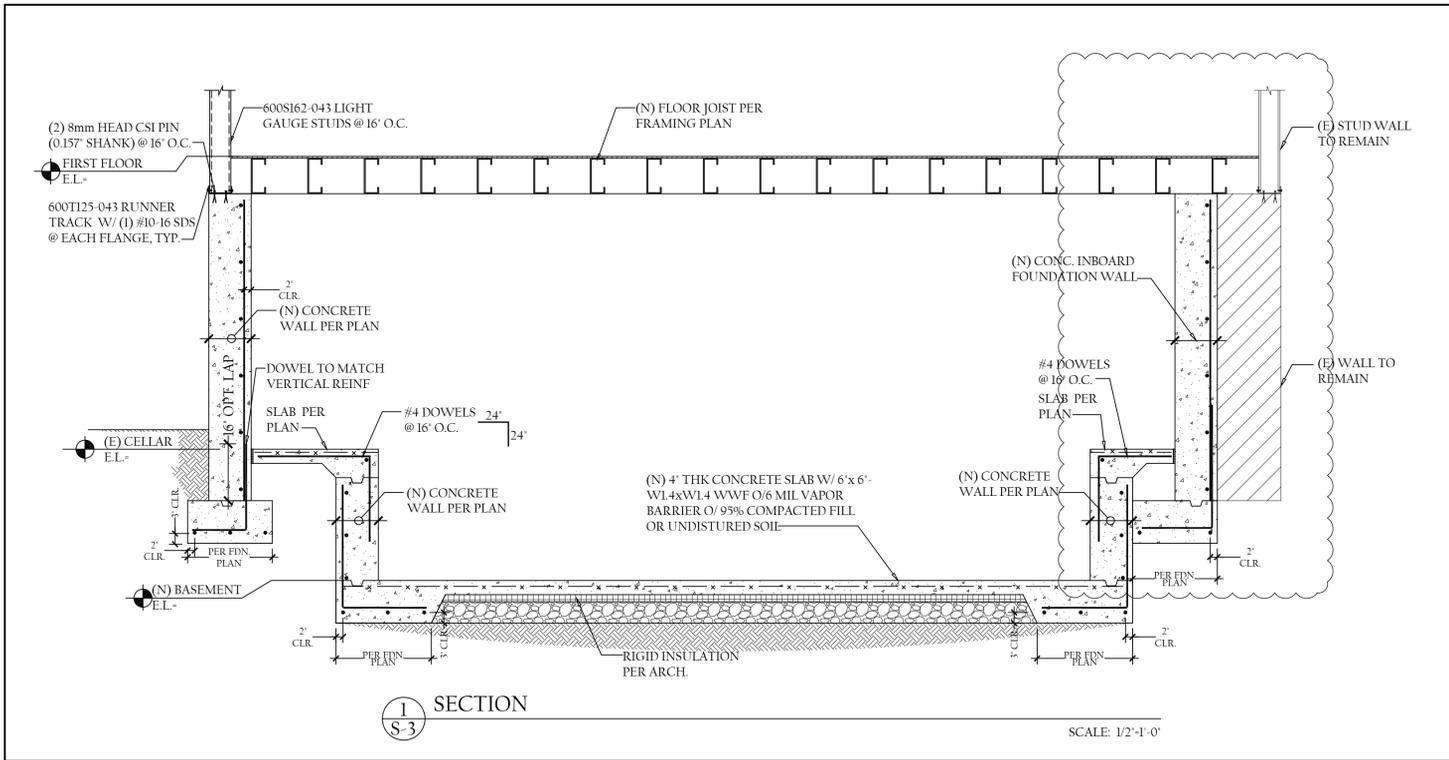




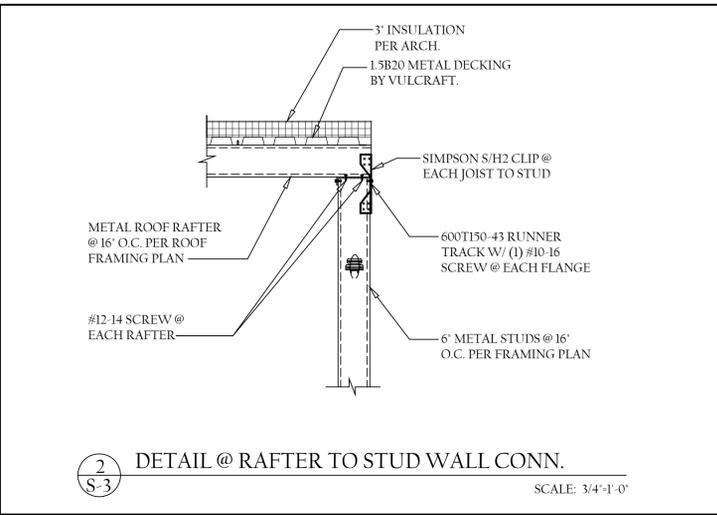
**PRELIMINARY:**  
REVIEW ONLY NOT FOR  
CONSTRUCTION

NO.	DATE	DESCRIPTION

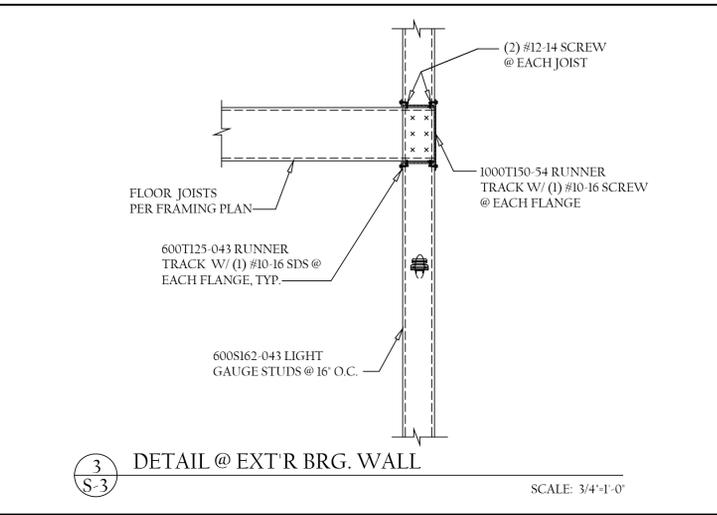
JOSEPH GEORGE DIPOMPEO NJ PROFESSIONAL ENGINEER LICENCE #: 082603	<b>STRUCTURAL WORKSHOP, LLC</b> 2001 ROUTE 46, SUITE 310 PARSIPPANY, NJ 07054 DESIGN AND CONSULTING NJ COA#: 24GA28094100 <b>CLIENT: SOLIL MANAGEMENT</b> INTERIOR ALTERATION 237 BLEECKER ST. NEW YORK, NY 10017 <b>DRAWING: TYPICAL DETAILS</b>
<b>PROJECT #:</b> E-xxxx <b>PROJ. MGR:</b> JGD <b>DRAWN BY:</b> ADS	<b>SCALE:</b> AS NOTED <b>DATE:</b> 01/14/2015 <b>DWG. #:</b> S-2



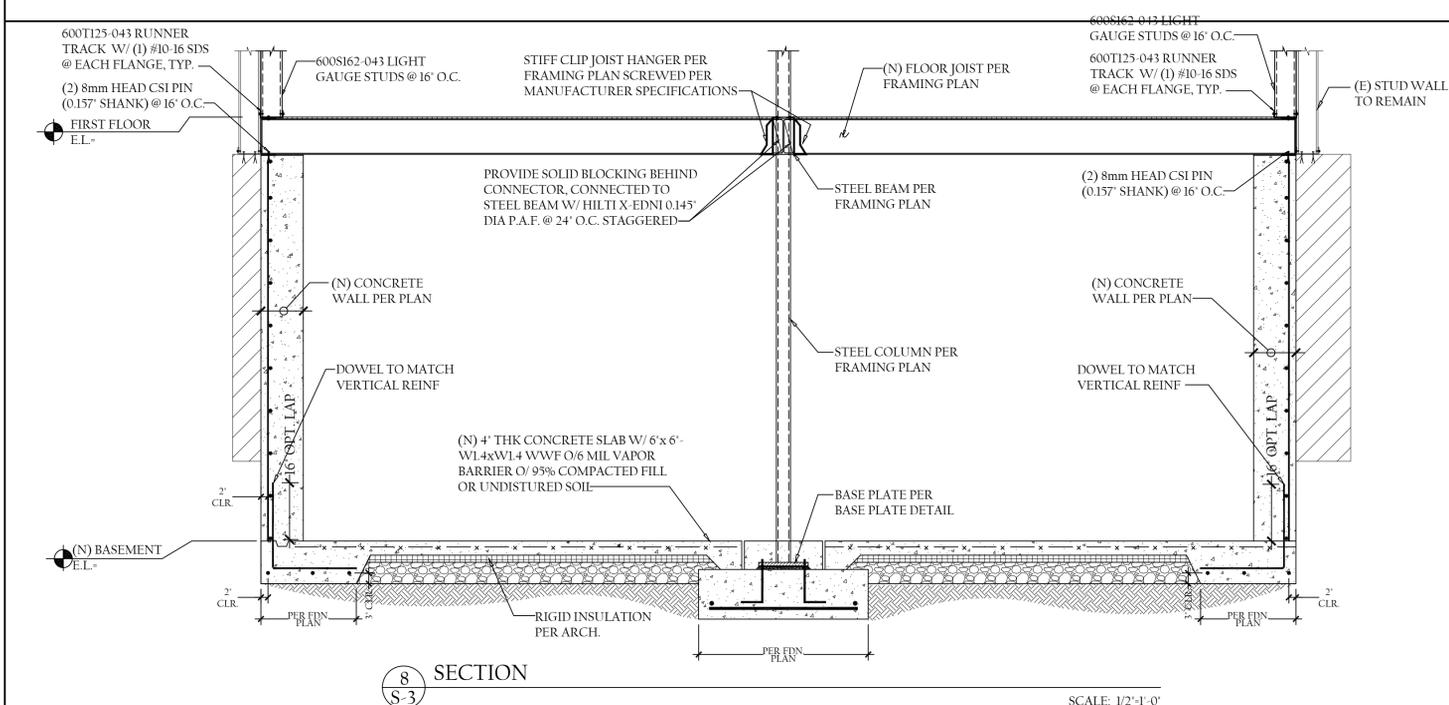
1 SECTION  
SCALE: 1/2'-1'-0"



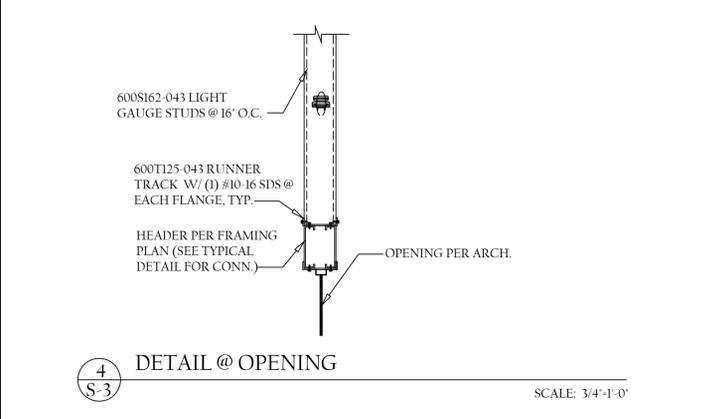
2 DETAIL @ RAFTER TO STUD WALL CONN.  
SCALE: 3/4'-1'-0"



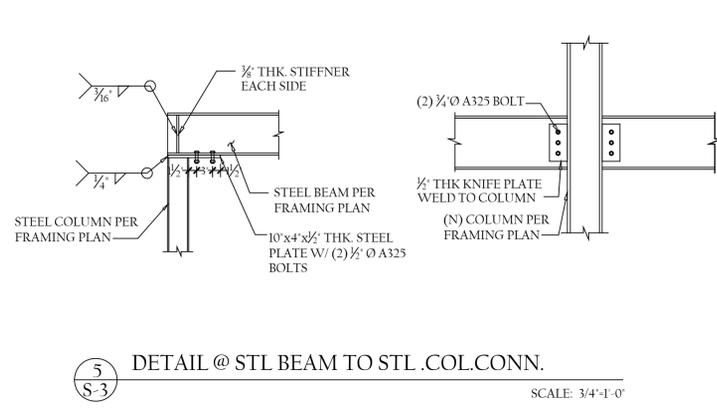
3 DETAIL @ EXT'R BRG. WALL  
SCALE: 3/4'-1'-0"



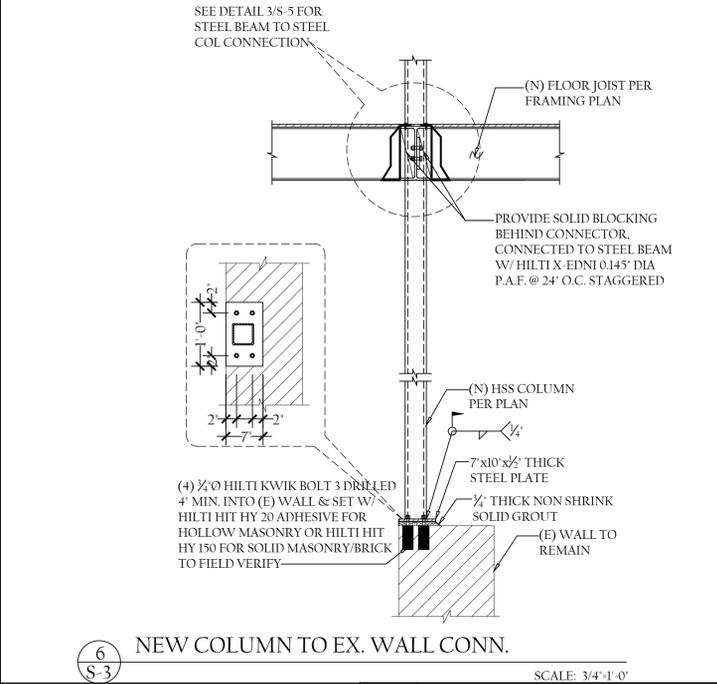
8 SECTION  
SCALE: 1/2'-1'-0"



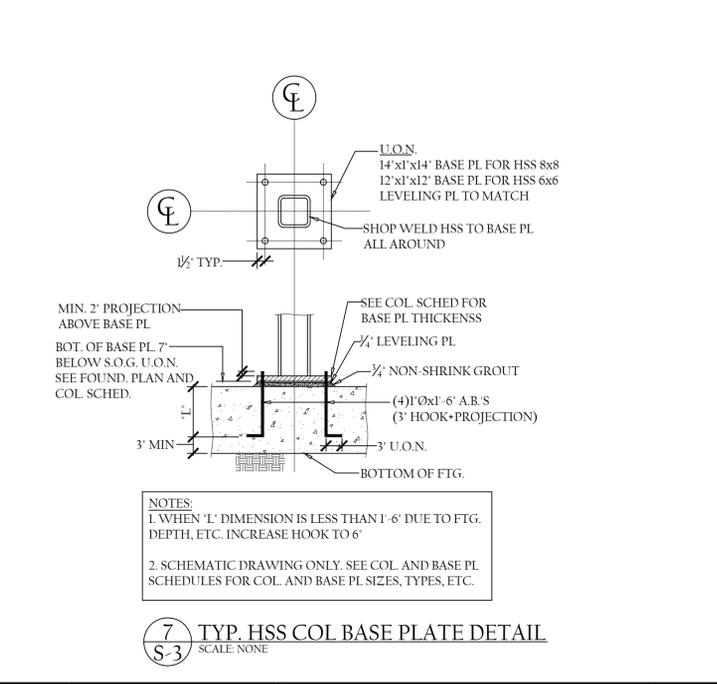
4 DETAIL @ OPENING  
SCALE: 3/4'-1'-0"



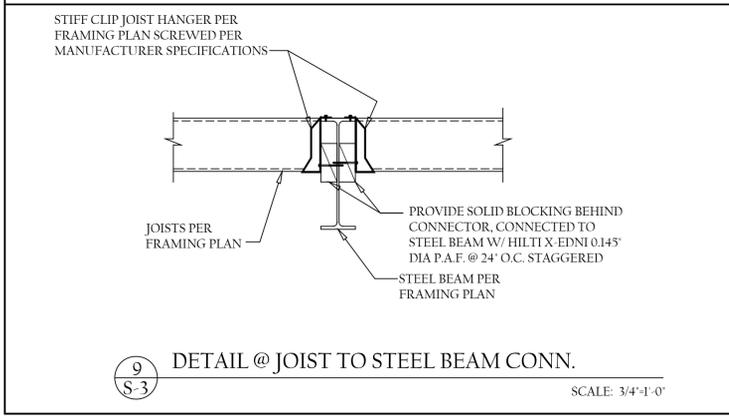
5 DETAIL @ STL BEAM TO STL .COL. CONN.  
SCALE: 3/4'-1'-0"



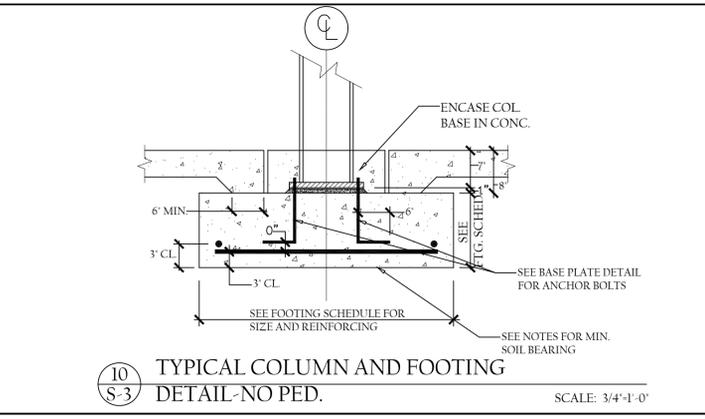
6 NEW COLUMN TO EX. WALL CONN.  
SCALE: 3/4'-1'-0"



7 TYP. HSS COL BASE PLATE DETAIL  
SCALE: NONE



9 DETAIL @ JOIST TO STEEL BEAM CONN.  
SCALE: 3/4'-1'-0"



10 TYPICAL COLUMN AND FOOTING DETAIL-NO PED.  
SCALE: 3/4'-1'-0"

PRELIMINARY - REVIEW ONLY NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

JOSEPH GEORGE DIPOMPEO  
NJ PROFESSIONAL ENGINEER  
LICENCE #: 082603

**STRUCTURAL WORKSHOP, LLC** 2001 ROUTE 46, SUITE 310 PARSIPPANY, NJ 07054  
DESIGN AND CONSULTING NJ COA#: 24GA28094100

PROJECT #: E-xxxx  
PROJ. MGR: JGD  
DRAWN BY: ADS

CLIENT: SOLIL MANAGEMENT

INTERIOR ALTERATION  
237 BLEECKER ST.  
NEW YORK, NY 10017

DRAWING: DETAILS

SCALE: AS NOTED  
DATE: 01/14/2015  
DWG. #: S-3

**NOTES AND SPECIFICATIONS**

**GENERAL:**

- INCORPORATED INTO THESE NOTES ARE THE IBC2009 NJ EDITION, ASCE MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES LATEST EDITION, ALL NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS HAVING JURISDICTION, PROJECT SPECIFICATIONS AND ALL CODES AND SPECIFICATIONS REFERENCED THROUGHOUT THESE NOTES. ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL CODES INCORPORATED BY REFERENCE. IN THE CASE OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- DRAWINGS DATED LATER SUPERSEDE ALL PREVIOUSLY DATED DRAWINGS. THE DRAWINGS OF RECORD ARE THE LATEST DATED HARD COPY MAINTAINED AT THE OFFICES OF STRUCTURAL WORKSHOP, LLC. DRAWINGS TRANSMITTED ELECTRONICALLY ARE A COURTESY ONLY. WE ARE NOT RESPONSIBLE FOR ANY CHANGES MADE TO ELECTRONICALLY TRANSMITTED DRAWINGS AFTER THEY LEAVE OUR OFFICE. WE BEAR NO RESPONSIBILITY FOR ANY CLAIMS MADE DUE TO USE OR SUBMISSION OF DRAWINGS WE HAVE ELECTRONICALLY TRANSMITTED AS A COURTESY. THE LATEST DATED HARD COPY ON RECORD AT THE OFFICES OF STRUCTURAL WORKSHOP, LLC SUP RECEDE ANY AND ALL ELECTRONICALLY SUBMITTED DRAWINGS.
- MEANS AND METHODS OF CONSTRUCTION, TEMPORARY BRACING, SCHEDULING, JOB SAFETY, OSHA REQUIREMENTS, SAFETY OF ADJACENT STRUCTURES AND PROPERTY, PUBLIC SAFETY, ETC., AS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- AFTER THE DESIGN DOCUMENTS OF RECORD HAVE BEEN RELEASED THE COSTS FOR ALTERNATE DESIGNS, REVIEW OF ALTERNATE DESIGNS, VALUE ENGINEERING, DESIGN CHANGES, ETC. WILL NOT BE CONSIDERED PART OF THE ORIGINAL SCOPE OF WORK, AND THE COSTS FOR SUCH ACTIONS SHALL BE PAID DIRECTLY TO THE ENGINEER BY THE REQUESTING PARTY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE DESIGN DOCUMENTS, SURVEYING FIELD CONDITIONS, SURVEYING EXISTING CONSTRUCTION, AND REVIEWING DRAWINGS AND SPECIFICATIONS OF ALL TRADES. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. TO THE ENGINEER FOR RESOLUTION BEFORE BEGINNING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT FOR SERVICES OF ALL INDEPENDENT TESTING LABORATORIES, CALCULATIONS, AND ANY OTHER ADDITIONAL PROFESSIONAL SERVICES OR TESTING REQUIRED HEREIN.
- COORDINATE THESE DESIGN DRAWINGS WITH THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND ANY OTHER APPLICABLE TRADES.
- DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS FOR CONSTRUCTION. SHOWN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. WHERE THERE IS A DISCREPANCY BETWEEN THE DIMENSION ON THESE DRAWINGS AND DRAWINGS OF ANOTHER TRADE, CONTACT THE ENGINEER FOR RESOLUTION.
- ALL DETAILS, NOTES, ETC. ARE TYPICAL AND APPLY TO ALL CONDITIONS THAT ARE THE SAME AS SHOWN CONDITION. WHERE A TYPICAL AND LOCATION SPECIFIC DETAIL APPLIES IN THE SAME AREA, PROVIDE ALL ITEMS SHOWN ON BOTH DETAILS. NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
- WORK NOT INDICATED ON A PART OF THESE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED IN THE CONTRACTORS WORK.
- WHERE ANY STANDARD IS REFERENCED, THE LATEST CODE ADOPTED EDITION IS INCORPORATED INTO THESE SPECIFICATIONS.
- NO SUBSTITUTIONS OF ANY MATERIAL, MANUFACTURER, ETC. ALLOWED WITHOUT WRITTEN PERMISSION FROM ENGINEER.

**LOADING :**

**GRAVITY LOADS:**

ROOF DEAD LOAD-	20 PSF
ROOF LIVE LOAD-	30 PSF

**SNOW LOAD:**

GROUND SNOW LOAD PG :	30 PSF
EXPOSURE CATEGORY Ce :	1.0
THERMAL FACTOR, Ct :	1.0
IMPORTANCE FACTOR, :	1.0
FLAT ROOF SNOW LOAD :	21 PSF
SNOW DRIFT CALCULATIONS PER ASCE 7-05	

**WIND LOAD:**

BASIC WIND LOAD SPEED :	105 MPH (3 SEC GUST)
EXPOSURE CATEGORY :	C
IMPORTANCE FACTOR :	1.0

**SEISMIC LOADS**

Ss	:0.362
SI	:0.7
SITE CLASS	:D
ANALYSIS METHOD	: EQUIVALENT LATERAL FORCE PROCEDURE

**INSPECTIONS:**

- TESTING AND INSPECTIONS TO BE PERFORMED BY AN APPROVED TESTING LABORATORY SELECTED AND PAID FOR BY THE OWNER. CONTRACTOR SHALL FURNISH TESTING AGENCY ACCESS TO WORK, FACILITIES, AND INCIDENTAL LABOR REQUIRED FOR TESTING AND INSPECTION. RETENTION BY THE OWNER OF AN INDEPENDENT TESTING LAB SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING ALL WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.

**CONCRETE:**

- ALL CONCRETE WORK TO CONFORM TO ALL THE REQUIREMENTS OF THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS:  
ACI 301: 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS'  
ACI 302: 'GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION'  
ACI 308: 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE'  
ACI 315: 'MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES'  
CRSI MANUAL OF STANDARD PRACTICE  
ASTM C94: 'SPECIFICATION FOR READY-MIXED CONCRETE'  
ASTM C33: AGGREGATE SPECIFICATIONS  
ASTM C260: AIR-ENTRAINING ADMIXTURE SPECIFICATION  
ASTM C494: WATER REDUCING ADMIXTURE SPECIFICATION  
ASTM C494: HIGH RANGE WATER REDUCING ADMIXTURE SPECIFICATION AND WATER REDUCING, RETARDING ADMIXTURE SPECIFICATION
- UNLESS OTHERWISE NOTED, ALL CONCRETE WORK TO BE STONE CONCRETE MEETING THE FOLLOWING SPECIFICATIONS:  
ANSI/ASTM C150 TYPE 1 NON-AIR ENTRAINING PORTLAND CEMENT  
USE OF 'FLY-ASH' OR 'NEW-CEM' PROHIBITED  
STRENGTH: 3000 PSI AT 28 DAYS  
PORTLAND CEMENT CONTENT: 5.5 BAGS PER CUBIC YARD MIN.  
WATER CEMENT RATIO: .5 MAX
- CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED. MINIMUM AIR ENTRAINMENT-5.5%.
- REINFORCING TO BE ASTM-A-615 GRADE 60 UNLESS OTHERWISE NOTED. WELDED WIRE MESH TO CONFORM TO ASTM A-185 WITH 65 KSI YIELD. DEVELOPMENT LENGTHS AND LAPS TO BE PER ACI LAP WELDED WIRE MESH TWO FULL MESH PANELS IN ALL DIRECTIONS.
- SLABS SHALL RECEIVE CURER- SEALER IMMEDIATELY UPON FINISHING.
- TESTING LAB SHALL INSPECT AND REPORT ON CONCRETE FOR: CYLINDERS SHALL BE TAKEN AND TESTED AT 7 AND 28 DAYS.
- FOLLOW ACI PROCEDURES FOR HOT AND COLD WEATHER CONCRETING.
- FORM ALL CONCRETE WORK.
- PROVIDE DOWELS OF THE SAME SIZE AND SPACING AS REQUIRED WHETHER SHOWN ON PLAN OR NOT.
- WHERE CONCRETE COVER IS NOT SHOWN ON PLANS AND DETAILS, PROVIDE STANDARD ACI COVER FOR APPLICABLE CONDITIONS.

**SLABS ON GRADE:**

- MINIMUM SLAB ON GRADE TO BE 4" THICK WITH 66-1010 W.W.M. IN SHEETS U.O.N. ON PLANS.
- SLABS ON GRADE TO BE ON A MINIMUM OF 4" POROUS FILL COMPLYING WITH ASTM C33 UNLESS OTHERWISE NOTED ON PLANS.
- SOIL BELOW SLABS ON GRADE TO BE ORIGINAL SOIL COMPACTED OR CONTROLLED FILL. CONTROLLED FILL TO BE SELECTED GRANULAR SOIL PLACED AND COMPACTED.

**FOUNDATIONS:**

- ALL FOOTINGS TO BEAR ON COMPACTED VIRGIN SOIL OR CONTROLLED FILL WITH A DESIGN BEARING OF 2000 POUNDS PER SQUARE FOOT. CONTROLLED FILL SPECIFICATIONS TO CONFORM TO IBC2009 NJ EDITION.
- EXCAVATIONS TO COMPLY WITH ALL OSHA REQUIREMENTS.
- WIRE ALL FOOTING BARS IN PLACE.
- STEP FOOTINGS AS REQUIRED TO BEAR ON PROPER SOIL AND TO ACCOMMODATE ADJACENT CONSTRUCTION AND MIN. DEPTHS. FOOTING DEPTHS SHOWN ON PLANS ARE MINIMUMS. CONTRACTOR TO VERIFY MINIMUM DEPTH WITH LOCAL BUILDING OFFICIAL.
- BACKFILL TO BE CONTROLLED FILL OR REMOVED SOIL PROVIDING ON SITE SOIL IS WELL DRAINING GRANULAR SOIL. DO NOT USE ON SITE SOIL IF ANY CLAY IS PRESENT. DO NOT BACKFILL UNTIL ALL FLOOR CONNECTIONS ARE MADE AND ALL MATERIALS HAVE REACHED 85% OF THEIR DESIGN STRENGTH.
- FORM ALL FOOTINGS. FORMING TO CONFORM TO ACI 318.
- SHORE ALL FOUNDATION WALLS OR DO NOT BACKFILL UNTIL CONCRETE/MORTAR HAS REACHED 85% OF ITS DESIGN STRENGTH AND FLOOR AND WALL FRAMING ABOVE IS CONNECTED.
- NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. CONTRACTOR SHALL PROVIDE CONTINUOUS CONTROL OF SURFACE AND UNDERGROUND WATER AS REQUIRED DURING CONSTRUCTION SUCH THAT THE WORK IS DONE IN THE DRY. HOWEVER, THE CONTRACTOR SHALL INSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES ARE NOT LOWERED BY HIS CONSTRUCTION TECHNIQUES.

**COLD FORMED STEEL:**

- FABRICATION AND ERECTION SHALL CONFORM TO 'AISI NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS' AND AISI - STANDARD FOR COLD FORMED STEEL FRAMING- GENERAL PROVISIONS' WELDING TO CONFORM TO 'AWS D1.3 SPECS. FOR WELDING SHEET STEEL IN STRUCTURES'.
- STEEL STUDS TO BE BY 'MARINO -WARE INDUSTRIES' OR APPROVED EQUIVALENT. ALL MEMBERS 18 GAGE OR LIGHTER TO BE ASTM A653 OR ASTM A570 OR ASTM A792 GRADE A FY-33 KSI. ALL MEMBERS 16 GAGE OR HEAVIER TO BE ASTM A653 OR ASTM A570 OR ASTM A792 GRADE D FY-50 KSI. STEEL STUDS TO BE GALVANIZED TO G60 STANDARD.
- ALL CONNECTION MATERIAL TO BE ASTM A1003 / A1003M, STRUCTURAL GRADE, TYP H MATERIAL AND GALVANIZED TO G60 STANDARD.
- ALL CONNECTION SCREWS, BOLTS, ETC. TO BE NON-CORROSIVE AND COMPATIBLE WITH ALL MATERIALS IN CONTACT WITH.
- PROVIDE ALL TEMPORARY BRACING AND SUPPORTS UNTIL COMPLETION OF CONSTRUCTION.
- ALL WALL CONSTRUCTION TO RECEIVE HORIZONTAL BRIDGING AT 4'-0" C/C MAX. WITH SOLID BLOCKING AT ENDS AND 7'-0" C/C MAX. BETWEEN. PLACE FIRST LINE OF BRIDGING AT 3'-0" ABOVE FLOOR. BELOW ALL DEFLECTION TRACK. FIRST LINE OF BRIDGING TO BE LOCATED WITHIN 1'-0".
- FLOOR AND ROOF JOISTS TO RECEIVE STANDARD CONTINUOUS HORIZONTAL STRAP BRACING TOP & BOTTOM 7'-0" C/C MAX. PROVIDE SOLID BLOCKING AT ENDS AND EVERY 8'-0" C/C MAX. SEE DETAILS.
- ALL WELDING TO CONFORM TO 'AWS D1.3, 'STRUCTURAL WELDING CODE FOR WELDING SHEET STEEL IN STRUCTURES' AND AWS D11, 'STRUCTURAL WELDING CODE FOR STEEL'. ALL WELDERS AND WELD PROCEDURES TO BE QUALIFIED UNDER ABOVE REFERENCED STANDARDS.
- ALL POWER ACTUATED FASTENERS (PAFS) TO BE HILTI OR APPROVED EQUAL. PAFS TO BE .177" DIAMETER MIN. WHEN FASTENING TO STEEL. THE FULL SHANK DIAMETER SHALL COMPLETELY PIERCE THE BASE STEEL. SEE TYPICAL DETAILS FOR MINIMUM SPACINGS AND EDGE DISTANCES OF PAFS. INSTALLER TO OBTAIN AND CONFORM TO ALL ASPECTS OF FASTENER MANUFACTURERS SPECIFICATIONS.
- ALL SCREW FASTENERS TO BE BY ITW BUILDEX OR APPROVED EQUAL. SCREWS TO BE #12 MINIMUM. SCREW SPACING AND EDGE DISTANCE TO BE 1/2" MINIMUM IN COLD FORMED MEMBERS. SEE MANUFACTURER'S SPECIFICATIONS FOR ALLOWABLE EDGE DISTANCES IN BASE MATERIALS. INSTALLER TO OBTAIN AND CONFORM TO ALL ASPECTS OF FASTENER MANUFACTURERS SPECIFICATIONS.
- FOR LOAD BEARING STUD WALLS, LOCATE ALL FLOOR AND ROOF JOISTS DIRECTLY OVER STUDS TO RECEIVE THE END REACTIONS.
- ALL EXTERIOR WALL STUDS TO BE 18 GAGE MIN. ALL STUDS BEHIND MASONRY TO BE 16GA. MIN.
- ALL INTERIOR PARTITION WALLS TO BE TIED AT TOP TO STRUCTURAL FRAME WITH CONNECTIONS CAPABLE OF HORIZONTALLY RESISTING 50% OF THE TOTAL VERTICAL WALL (OR TRIBUTARY AREA OF CONNECTION) WEIGHT. CONNECTIONS TO ALLOW FOR VERTICAL MOVEMENT.
- INSTALL COLD-FORMED METAL FRAMING AND ACCESSORIES PLUMB, SQUARE, AND TRUE TO LINE, AND WITH CONNECTIONS SECURELY FASTENED.
- CUT FRAMING MEMBERS BY SAWING OR SHEARING; DO NOT TORCH CUT.
- FASTEN COLD-FORMED METAL FRAMING MEMBERS BY WELDING, SCREW FASTENING, CLINCH FASTENING, OR RIVETING. WIRE TYING OF FRAMING MEMBERS IS NOT PERMITTED.
- COMPLY WITH AWS D1.3 REQUIREMENTS AND PROCEDURES FOR WELDING, APPEARANCE AND QUALITY OF WELDS, AND METHODS USED IN CORRECTING WELDING WORK.
- LOCATE MECHANICAL FASTENERS AND INSTALL ACCORDING TO SHOP DRAWINGS, AND COMPLYING WITH REQUIREMENTS FOR SPACING, EDGE DISTANCES, AND SCREW PENETRATION.
- INSTALL FRAMING MEMBERS IN ONE-PIECE LENGTHS UNLESS SPLICE CONNECTIONS ARE INDICATED FOR TRUCK OR TENSION MEMBERS.

**STRUCTURAL STEEL:**

- ALL STRUCTURAL STEEL DESIGN, DETAILING, FABRICATION, AND ERECTION TO CONFORM TO AISC: STEEL CONSTRUCTION MANUAL, SPECIFICATIONS, AND CODE OF STANDARD PRACTICE LATEST ADOPTED EDITIONS.
- STEEL MATERIAL TO CONFORM TO THE FOLLOWING MINIMUMS. WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THESE DRAWINGS OR THE PROJECT SPECIFICATIONS USE THE MORE STRINGENT REQUIREMENT.

WIDE FLANGE SECTIONS:	ASTM A992 50KSI
HSS:	ASTM A500 46KSI
L:	ASTM A992 50KSI
CONNECTION ANGLES, PLATES, ETC.:	ASTM A-36 36KSI
BASE AND BEARING PLATES:	ASTM A-36 36KSI
ANCHOR BOLTS:	ASTM F1554

ALL OTHER STEEL TO BE ASTM A36 36KSI MINIMUM. CLEARLY IDENTIFY ALL MATERIAL ON SHOP DRAWINGS. SUBMIT MILL REPORTS WITH SHOP DRAWINGS.

- ALL BOLTED CONNECTIONS TO CONFORM TO ALL APPLICABLE AISC REQUIREMENTS. BOLTS TO BE 3/4" DIAMETER ASTM A-325 MINIMUM UNLESS NOTED OTHERWISE. BOLT TENSION TO BE RESOLVED IN ACCORDANCE WITH 'AISC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, SECTION 10".
- ALL WELDED CONNECTIONS TO BE MADE BY CERTIFIED WELDERS USING E70XX ELECTRODES. WELD INSPECTIONS, TESTING, AND CERTIFICATION TO BE PERFORMED BY CERTIFIED WELDING INSPECTORS. WELDING TO CONFORM TO AWS D11 STRUCTURAL STEEL CODE. WHEN WELDING ONTO STRESSED MATERIAL, REMOVE LOADING PER AWS.
- ALL STEEL MATERIAL (ANGLES, PLATES, ETC.) SHOWN CONNECTED TO STRUCTURAL STEEL MEMBERS ON SECTIONS AND DETAILS SHALL BE SHOP FABRICATED THERE-ON UNLESS NOTED OTHERWISE. ALL CONNECTIONS MADE IN THE SHOP TO BE WELDED. ALL CONNECTIONS MADE IN THE FIELD TO BE STANDARD DOUBLE ANGLE SHEAR CONNECTIONS UNLESS SHOWN OTHERWISE. SINGLE SHEAR PLATE CONNECTIONS MAY ONLY BE USED WHERE THE GEOMETRY OF THE CONNECTION PREVENTS THE USE OF DOUBLE ANGLE SHEAR CONNECTIONS. MINIMUM CONNECTION MATERIAL THICKNESS TO BE 3/8". SUBMIT JOB STANDARDS FOR STANDARD DOUBLE ANGLE SHEAR CONNECTION AND SINGLE PLATE SHEAR CONNECTION CAPACITIES.

- PROVIDE ALL REQUIRED CLIPS, BOLTS, RODS, TIES, PLATES, HOLES, COPES, ETC. AS REQUIRED.
- ERECTOR SHALL INSTALL AND MAINTAIN ALL NECESSARY BRACING, GUYS, TEMPORARY SUPPORTS, ETC. AS REQUIRED THROUGHOUT STEEL ERECTION & REMOVE UPON COMPLETION WITH ENGINEERS' APPROVAL. COORDINATE JOB SAFETY AND MEANS AND METHODS OF CONSTRUCTION WITH GENERAL CONTRACTOR.
- TESTING LAB SHALL PERFORM ALL TESTS IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE AISC SPECIFICATIONS. VERIFY STEEL SIZES AND YIELD STRENGTH OF BEAMS AND COLUMNS, BOLTING & WELDING IN FABRICATION SHOP. INSPECT ALL FIELD WELDS AND BOLTING IN THE FIELD.

**PRELIMINARY :**  
REVIEW ONLY NOT FOR CONSTRUCTION

<b>NO.</b>	<b>DATE</b>	<b>DESCRIPTION</b>			
			JOSEPH GEORGE DIPOMPEO NJ PROFESSIONAL ENGINEER LICENCE #: 082603		
				 <b>STRUCTURAL WORKSHOP, LLC</b> 2001 ROUTE 46, SUITE 310 PARSIPPANY, NJ 07054 DESIGN AND CONSULTING NJ COA#: 24GA28094100	<b>PROJECT #:</b> E-xxxx <b>PROJ. MGR:</b> JGD <b>DRAWN BY:</b> ADS
				<b>CLIENT: SOLIL MANAGEMENT</b>	
				INTERIOR ALTERATION 237 BLEECKER ST. NEW YORK, NY 10017	<b>SCALE:</b> AS NOTED <b>DATE:</b> 01/14/2015
				<b>DRAWING: NOTES &amp; SPECIFICATIONS</b>	<b>DWG. #:</b> S-4