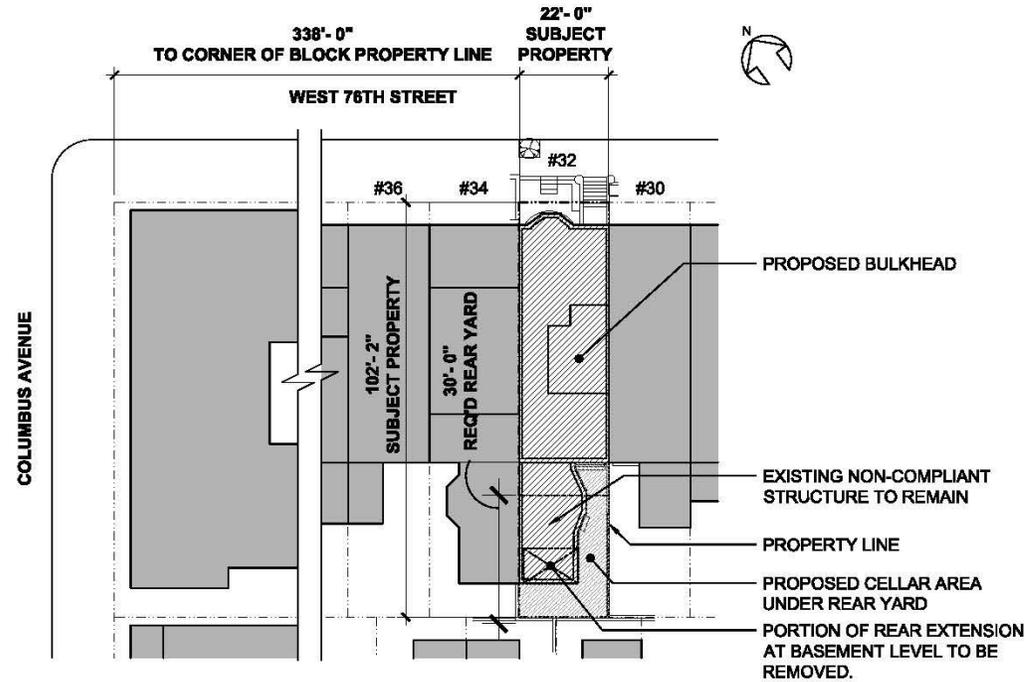




*32 West 76th Street  
Tax Photo*

Alterations to:  
32 W. 76th St. New York, NY 10023  
Block: 1128 Lot: 51  
LPC Docket #: 17-3088

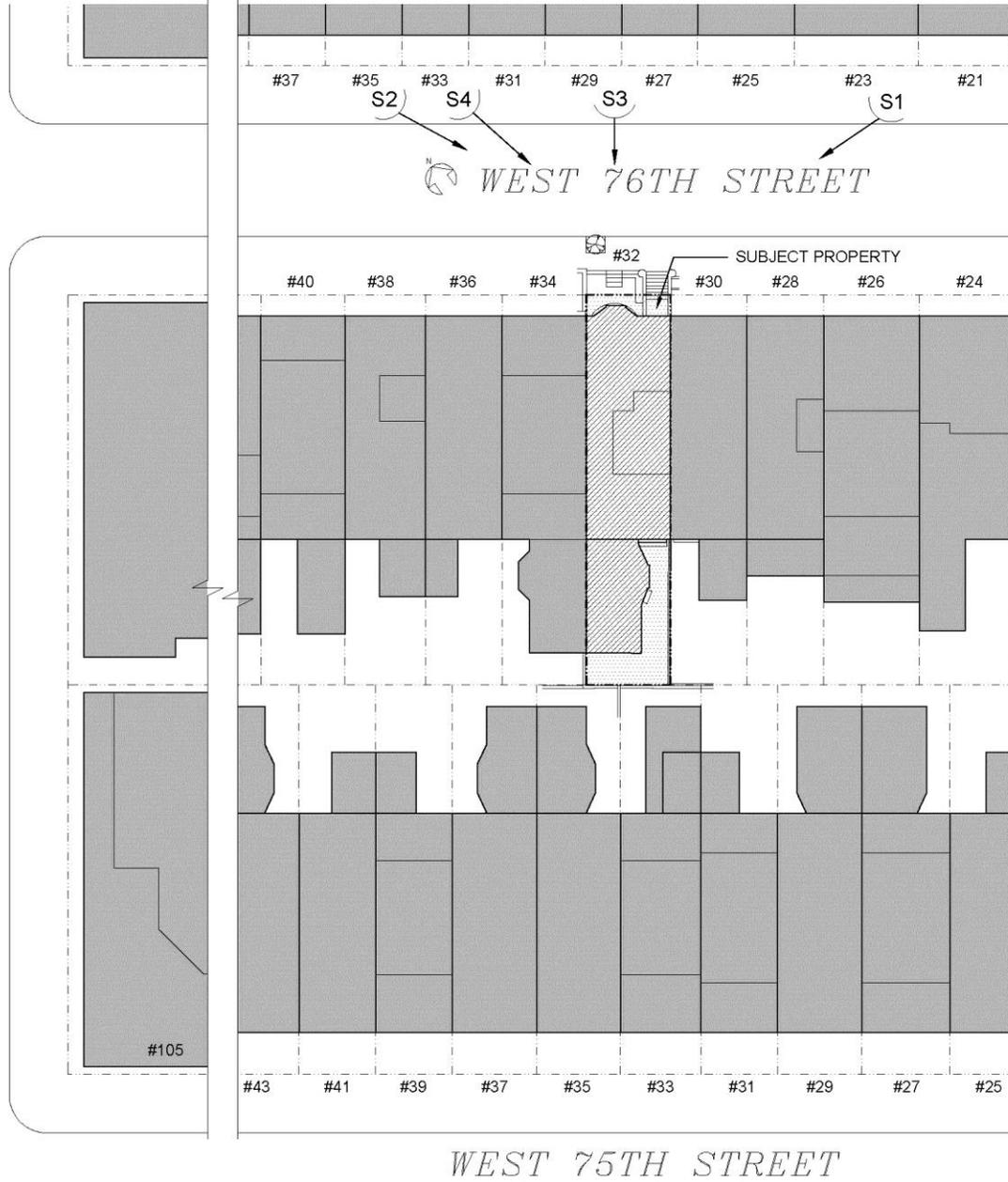


Submitted for Review to:

**Landmarks Preservation Commission**

|                    |   |
|--------------------|---|
| Drawing List       |   |
| LPC-COVER          |   |
| LPC-01.00          | Street View Diagram                                   |
| LPC-02.00          | Proposed Street Views                                 |
| LPC-03.00          | Existing & Proposed Front Elevation                   |
| LPC-04.00          | Existing Section                                      |
| LPC-05.00          | Proposed Section                                      |
| LPC-06.00          | Interior Block Diagram                                |
| LPC-07.00          | Partial Block Interior Plan                           |
| LPC-08.00 to 11.00 | Block Interior Existing Conditions                    |
| LPC-12.00          | Interior Block Existing View                          |
| LPC-13.00          | Interior Block Proposed View                          |
| LPC-14.00          | Existing & Proposed Rear Elevations                   |
| LPC-15.00          | Existing & Proposed Rear Extension Elevations         |
| LPC-16.00          | Photos of Existing Rear Yard                          |
| LPC-17.00          | Aerial View of Existing Rear Extension                |
| LPC-18.00          | Aerial View of Proposed Alterations to Rear Extension |
| LPC-20.00 to 27.00 | Demolition/Proposed Plans                             |
| Total Pages: 27    |   |

COLUMBUS AVENUE



WEST 75TH STREET

1 Street View Diagram  
Scale : 1/32" = 1'-0"

LPC-01.00

August 3, 2015

Street View Diagram

Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010





**S1** West 76th St View Looking Southwest  
(Bulkhead Addition Not Visible)



**S3** West 76th St Detail View Looking South  
(Bulkhead Addition Not Visible)

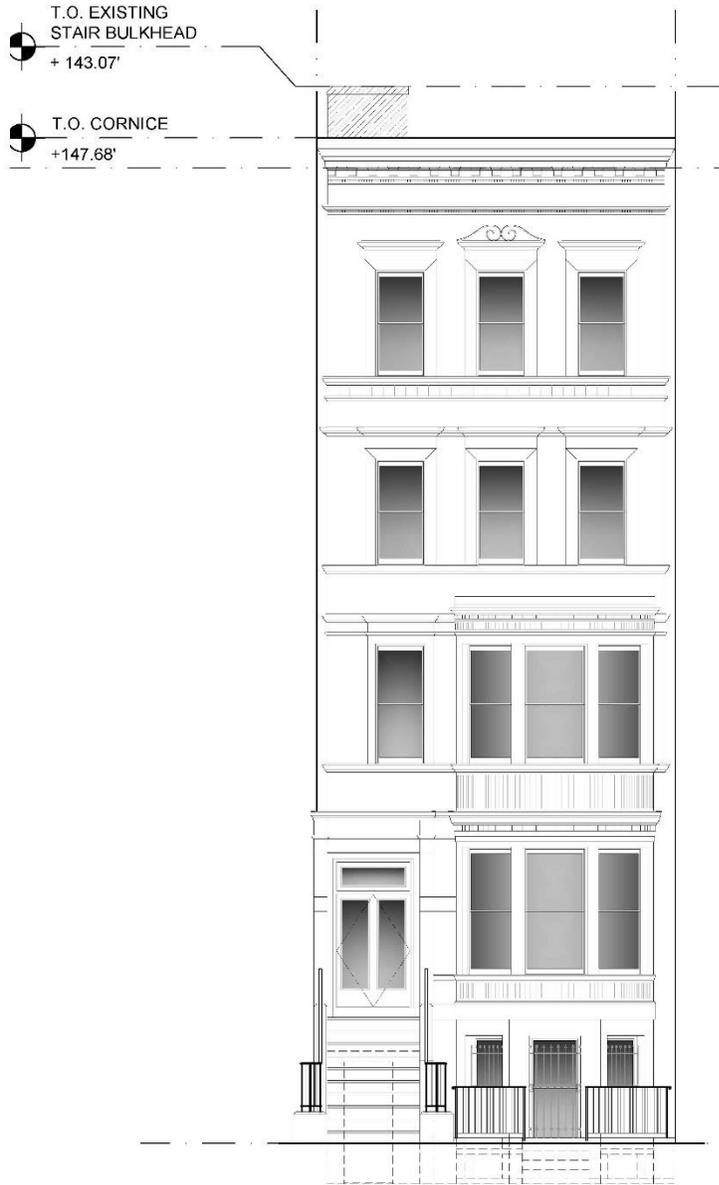


**S2** West 76th St View Looking Southeast  
(Bulkhead Addition Not Visible)

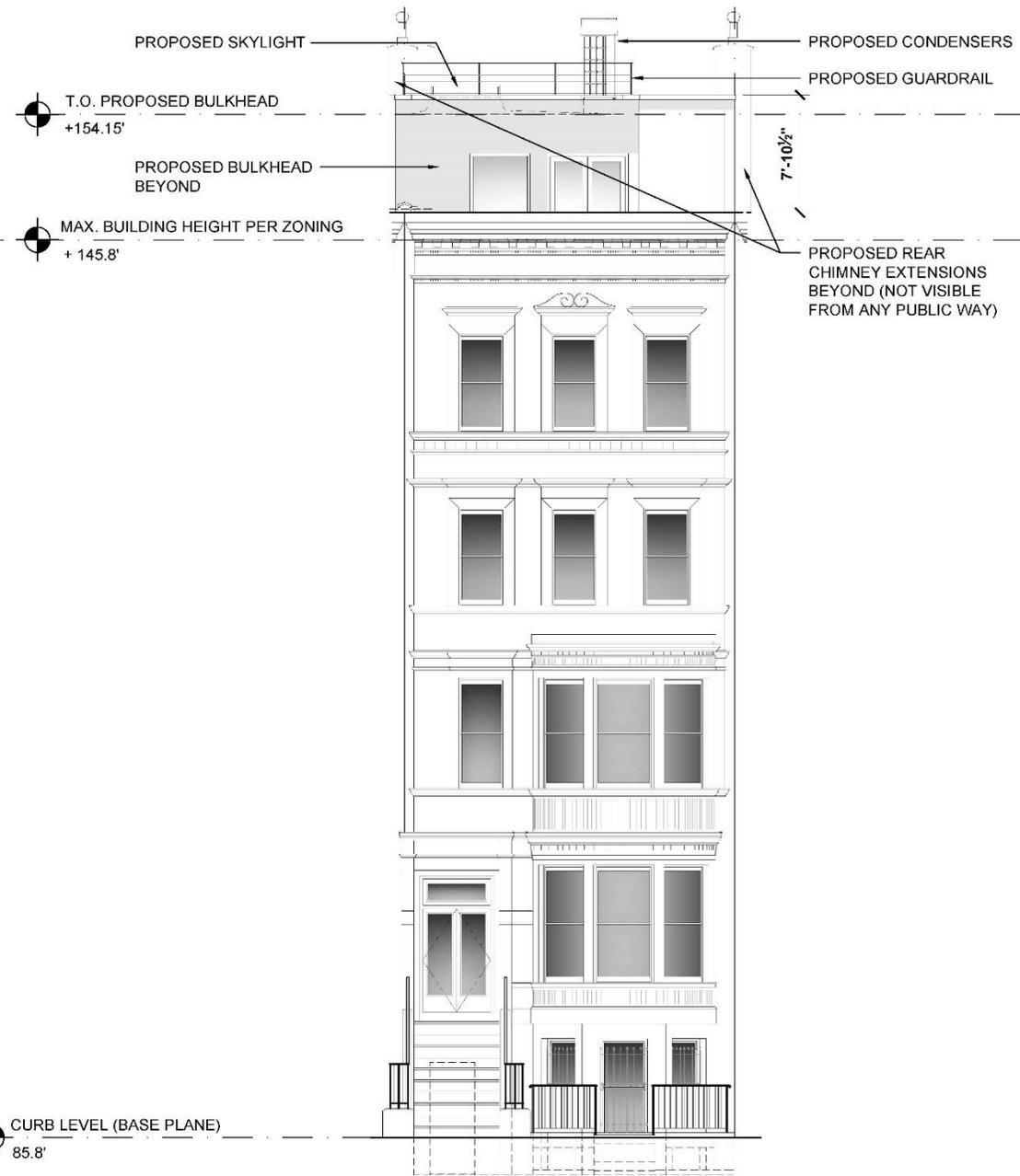


**S4** West 76th St Detail View Looking Southeast  
(Bulkhead Addition Not Visible)

ARROWS INDICATE  
32 WEST 76TH STREET  
(SUBJECT BUILDING)



**1 Existing West 76th Street Elevation**  
Scale : 1/8" = 1'-0"



**2 Proposed West 76th Street Elevation**  
Scale : 1/8" = 1'-0"

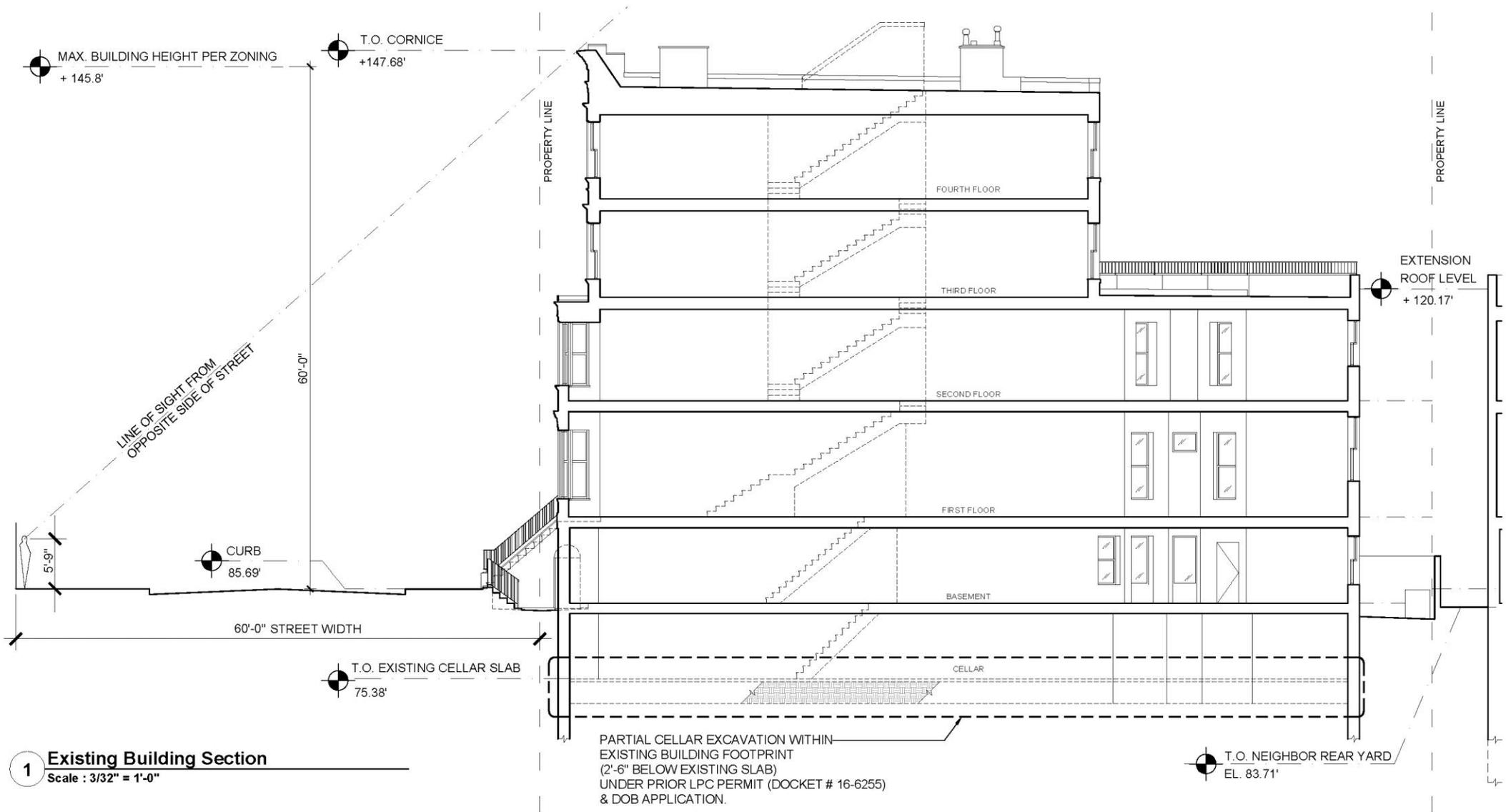
LPC-03.00

August 3, 2015

*Existing & Proposed Front Elevations*

Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1139, NEW YORK, NY 10010



**1 Existing Building Section**  
 Scale : 3/32" = 1'-0"

PARTIAL CELLAR EXCAVATION WITHIN  
 EXISTING BUILDING FOOTPRINT  
 (2'-6" BELOW EXISTING SLAB)  
 UNDER PRIOR LPC PERMIT (DOCKET # 16-6255)  
 & DOB APPLICATION.

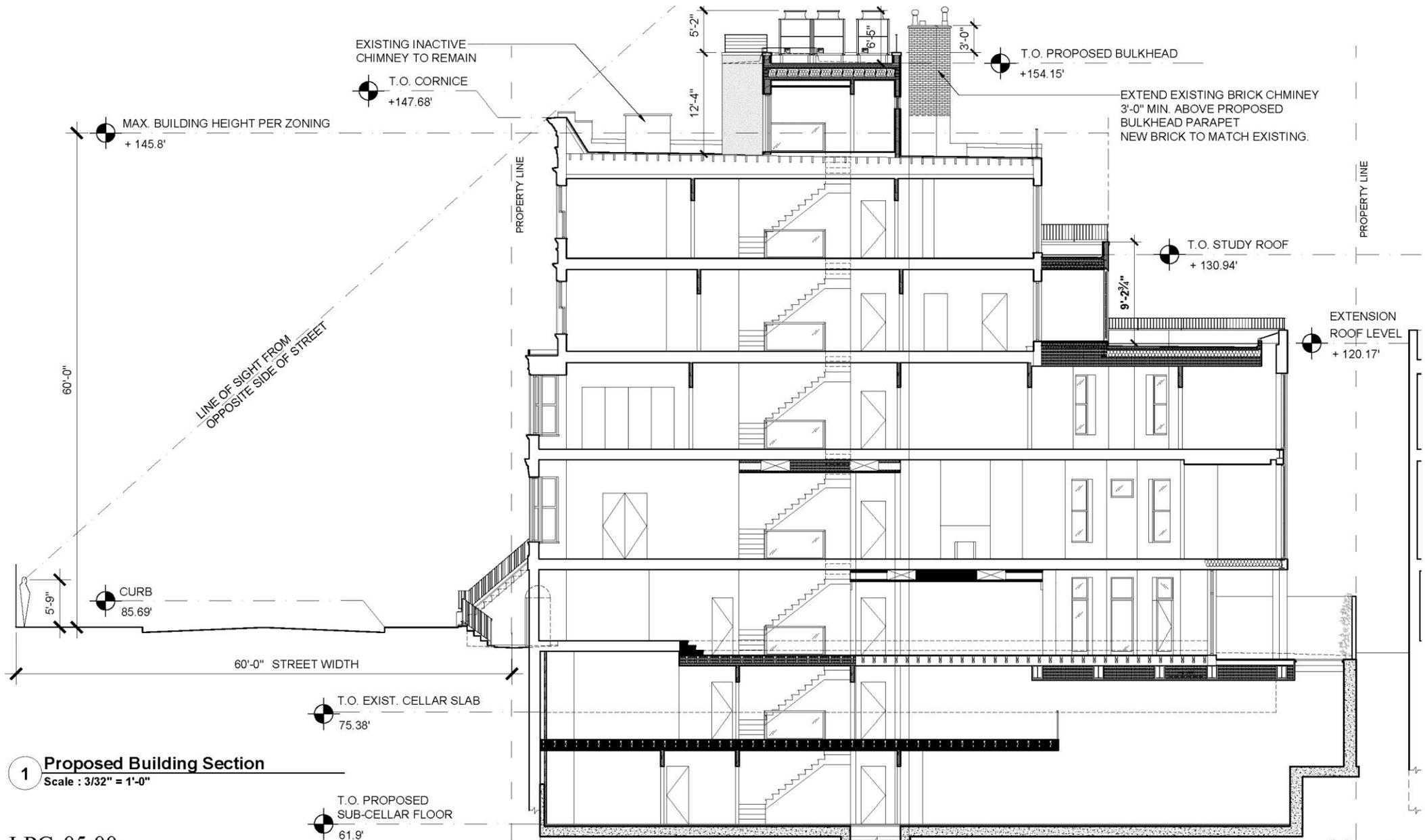
LPC-04.00

August 3, 2015

*Existing Section*

Alterations to:  
 32 West 76th Street, New York, NY 10023  
 Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
 1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



**1 Proposed Building Section**  
 Scale : 3/32" = 1'-0"

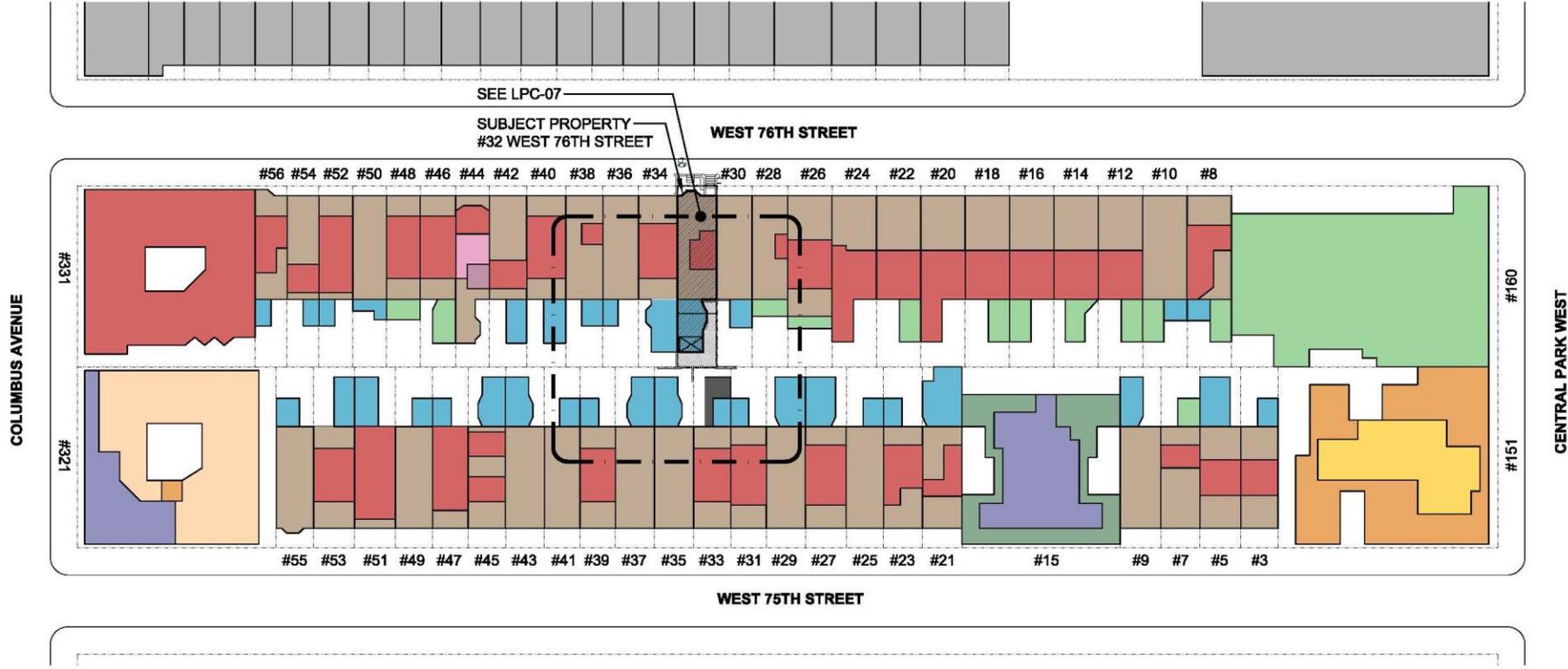
LPC-05.00

August 3, 2015

*Proposed Section*

Alterations to:  
 32 West 76th Street, New York, NY 10023  
 Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
 1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



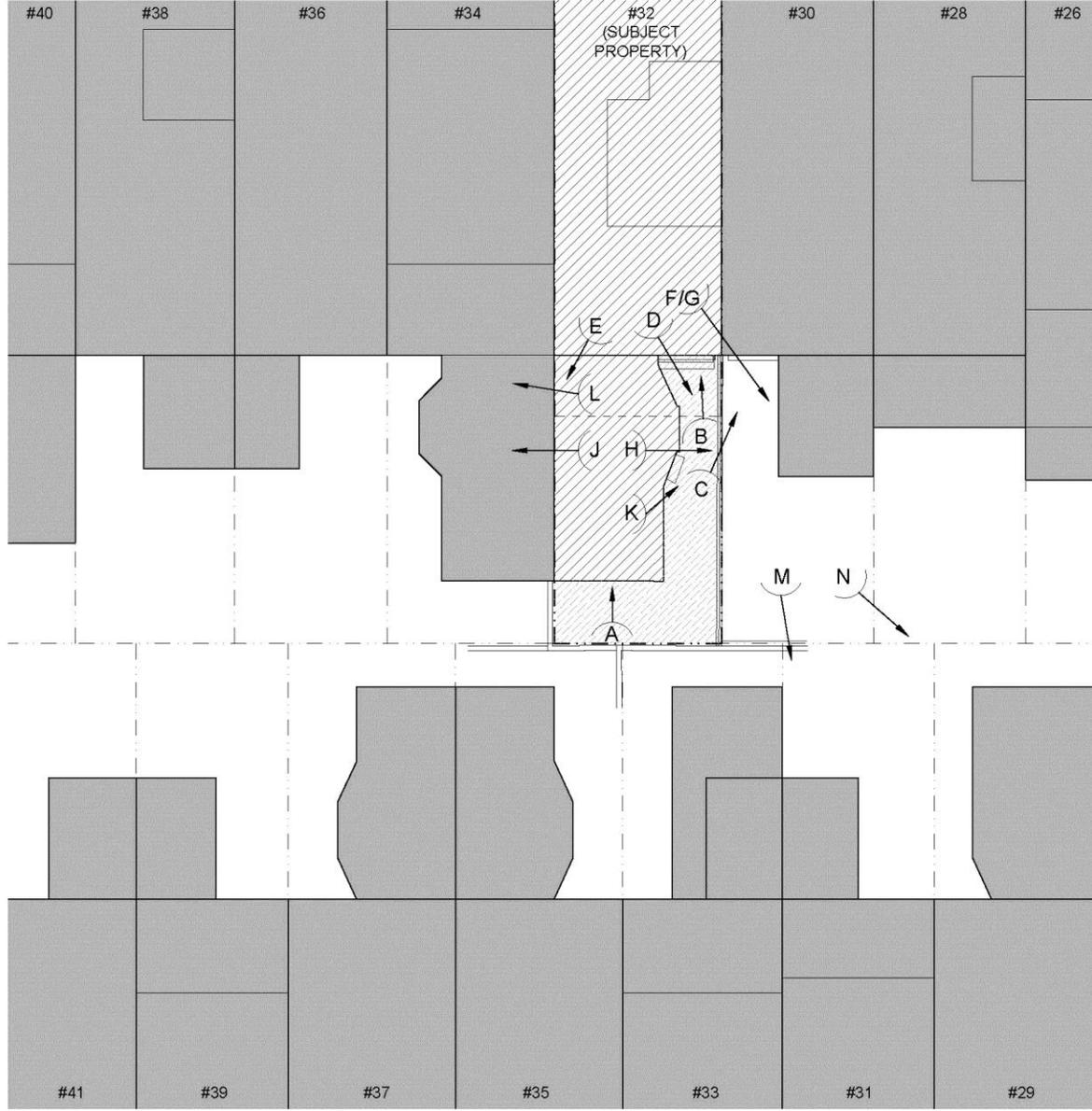
**1 Interior Block Diagram**  
Scale : 1/64" = 1'-0"



**LEGEND:**

|          |         |          |          |
|----------|---------|----------|----------|
| BASEMENT | 4-STORY | 7-STORY  | 11-STORY |
| 2-STORY  | 5-STORY | 9-STORY  | 12-STORY |
| 3-STORY  | 6-STORY | 10-STORY | 13-STORY |

NOTE: ALL STORIES INCLUDE BASEMENTS BELOW THEIR RESPECTIVE 1ST STORIES



**1** Partial Block Interior Diagram  
 Scale : 1/16" = 1'-0"

LPC-07.00

August 3, 2015

*Partial Block Interior Plan Diagram*

Alterations to:  
 32 West 76th Street, New York, NY 10023  
 Landmarks Preservation Commission Preliminary Review

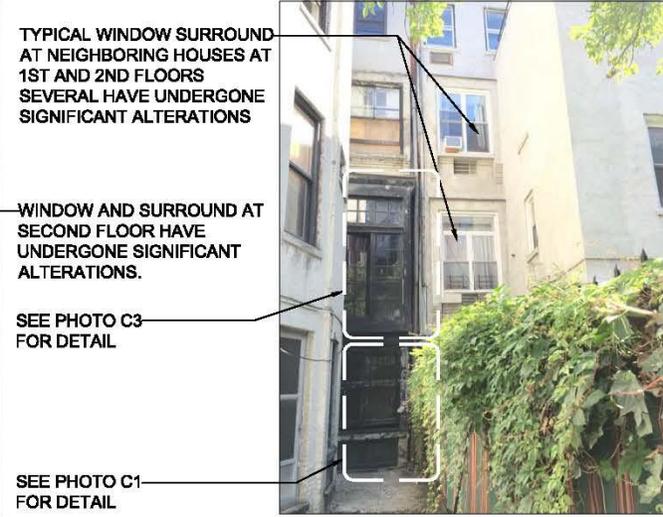
ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
 1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



**A Existing Extension at West Property Line**



**B View of Upper Portion of Rear Facade at East Property Line**



**C Partial Rear Facade Abutting Subject Property**

TYPICAL WINDOW SURROUND AT NEIGHBORING HOUSES AT 1ST AND 2ND FLOORS SEVERAL HAVE UNDERGONE SIGNIFICANT ALTERATIONS

WINDOW AND SURROUND AT SECOND FLOOR HAVE UNDERGONE SIGNIFICANT ALTERATIONS.

SEE PHOTO C3 FOR DETAIL

SEE PHOTO C1 FOR DETAIL



**C1 Existing Juliet Door at Parlor Floor**

FORMER BRICK WINDOW SURROUND LOCATION SIMILAR TO EXISTING AT 2ND FLOOR

EXISTING NON-HISTORIC DOOR AND TRANSOM CONSTRUCTION

PORTION OF REAR EXTENSION WALL, PAINTED FORMERLY EXPOSED TO THE EXTERIOR



**C2 Existing Condition at inside of Juliet Door**

EXISTING METAL CLADDING TO HEAD OF WINDOW; INCONSISTENT WITH ADJACENT CONDITIONS.

EXISTING WINDOW SURROUND AT SIDES OF BASEMENT WINDOW DROWNED IN PAINT AND PARGING; INCONSISTENT WITH BRICK SURROUND AT CELLAR WINDOW BELOW

BRICK SURROUND SIMILAR TO EXISTING AT 2ND FLOOR



**C3 Existing Basement Window at Rear Yard**



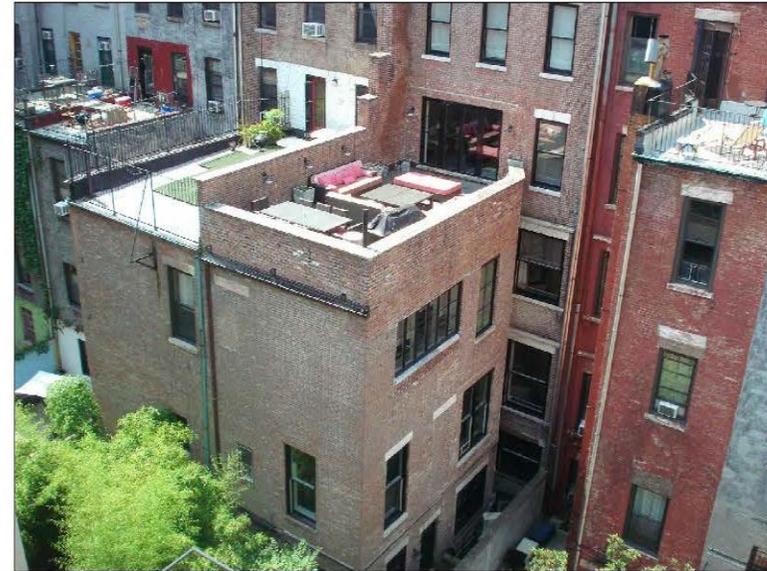
**D** North Elevation at 29-34 W 75th St



**E** Southwest view of Interior Block



**F** Northwest View at Block Interior



**G** View of Extension at 29 West 75th St



**H** Rear Extensions at 30-26 W 76th St



**J** West View of Block Interior from Existing Extension Roof



**K** Existing Rear Extensions at 30-28 W 76th St

RAILING AND PARAPET  
SIMILAR TO PROPOSED

FENESTRATION AT REAR  
EXTENSION SIMILAR TO  
PROPOSED



**L** Rear Elevations at 34-44 W 76th St

BULKHEAD ADDITIONS  
AT SOUTHWESTERN  
NEIGHBORING HOUSES



**M** Rear Extensions at 31-33 W 75th St



**N** East View of Block Interior from Existing Extension Roof

CONDENSER UNITS AND  
DUCTWORK NOT VISIBLE  
FROM STREET

TOP OF BULKHEAD  
ROOF AT 26 W 76TH ST

STAIR BULKHEAD IN  
SIMILAR POSITION TO  
PROPOSED BULKHEAD



**P** Existing Bulkheads at East Neighboring Properties

BULKHEAD ADDITIONS  
AT SOUTHWESTERN  
NEIGHBORING HOUSES



**Q** Detailed Roof Views at 43-51 W 75th St

**EXISTING CONDITIONS PHOTOS:  
ROOFSCAPE & MISC. ALTERATIONS**



**1 Interior Block Existing Elevation**  
 Scale : 3/32" = 1'-0"

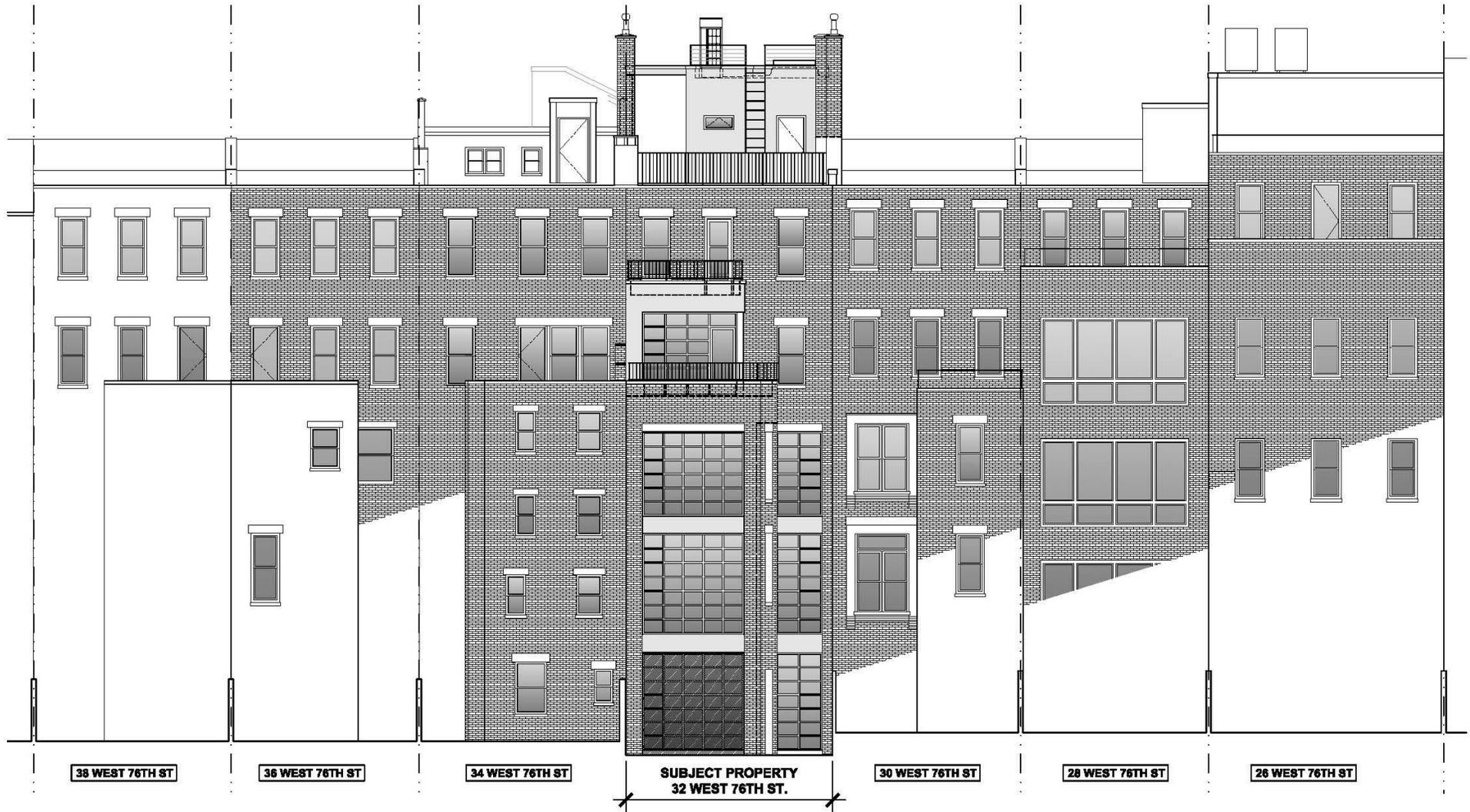
*Interior Block Existing Elevation*

August 3, 2015

LPC-12.00

Alterations to:  
 32 West 76th Street, New York, NY 10023  
 Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
 1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



38 WEST 76TH ST

36 WEST 76TH ST

34 WEST 76TH ST

SUBJECT PROPERTY  
32 WEST 76TH ST.

30 WEST 76TH ST

28 WEST 76TH ST

26 WEST 76TH ST

**1** Interior Block Proposed Elevation  
Scale : 3/32" = 1'-0"

LPC-13.00

August 3, 2015

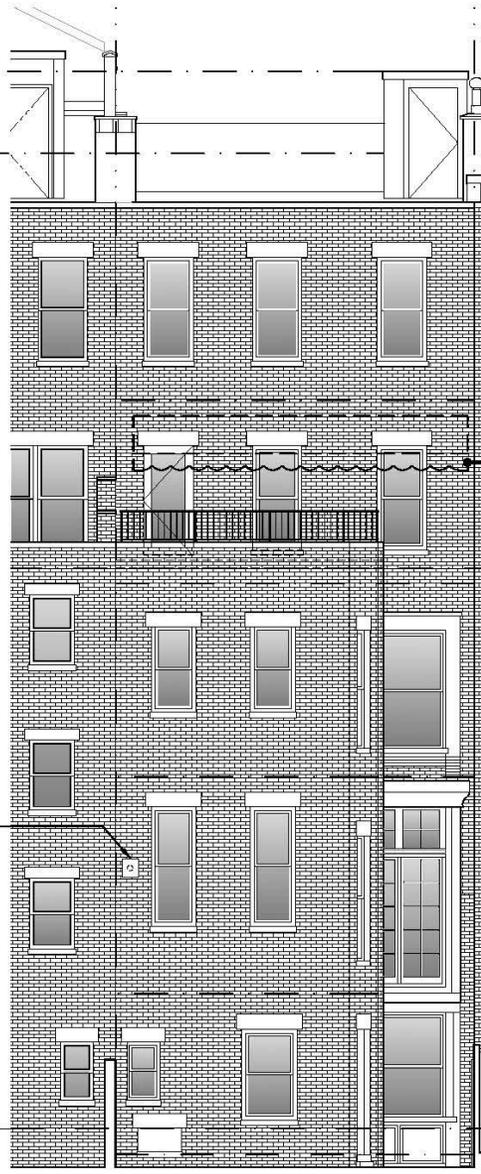
*Interior Block Proposed Elevation*

Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010

T.O. EXISTING STAIR BULKHEAD  
+ 143.07'

MAX. BUILDING HEIGHT PER ZONING  
+ 145.8'



EXISTING VENT TO BE REMOVED

CURB LEVEL (BASE PLANE)  
85.8'

T.O. PROPOSED STAIR BULKHEAD  
+ 154.15'

PROPOSED GUARDRAIL  
CLEAR ANODIZED ALUMINUM  
RAILING AND CABLES

PROPOSED LADDER FOR FIRE  
DEPT. ACCESS

ROOF LEVEL  
+ 143.28'

NEW 42" AFF METAL  
GUARDRAIL; PAINT  
BLACK TO MATCH  
WINDOWS (TYP.)

T.O. STUDY ROOF  
+ 130.94'

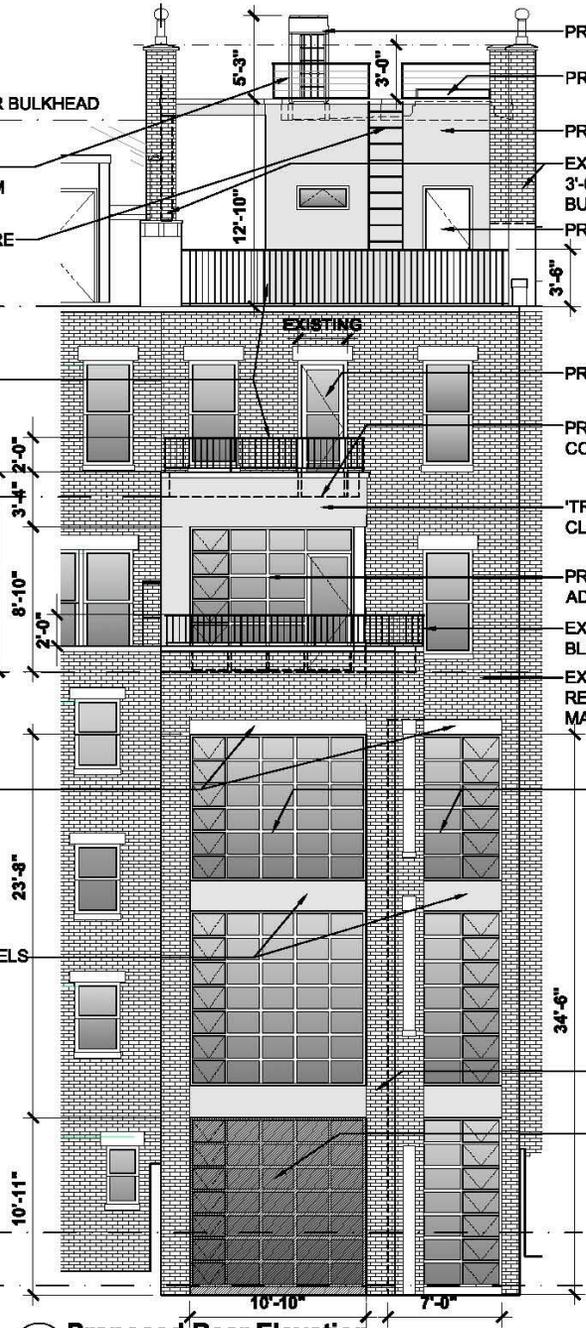
EXISTING AWNING  
TO BE REMOVED

EXTENSION  
ROOF LEVEL  
+ 120.17'

PROPOSED CAST STONE  
LINTEL; MATCH EXISTING

PROPOSED METAL SPANDRELS  
BETWEEN FENESTRATIONS;  
COLOR TO MATCH WINDOW  
FRAMES

T.O. PROPOSED  
BASEMENT FLOOR  
82.4'



**2 Proposed Rear Elevation**  
Scale : 1/8" = 1'-0"

PROPOSED CONDENSERS

PROPOSED SKYLIGHT BEYOND

PROPOSED BULKHEAD BEYOND

EXTEND EXISTING CHMINEYS  
3'-0" MIN. BEYOND PROPOSED  
BULKHEAD PARAPET

PROPOSED DOOR; PAINT

PROPOSED GLASS DOOR; PAINT

PROPOSED BALCONY ABOVE  
CONSERVATORY

'TRESPA' RAINSCREEN  
CLADDING SYSTEM

PROPOSED "CONSERVATORY"  
ADDITION

EXISTING TO REMAIN; REPAINT  
BLACK TO MATCH WINDOW

EXISTING BRICK TO BE  
REPAINTED; COLOR TO  
MATCH EXISTING

PROPOSED METAL CURTAIN  
WALL GLAZING SYSTEM  
BLACK FRAME

PROPOSED BRICK;  
PAINT TO MATCH EXISTING

PROPOSED COVERED  
TERRACE AT BASEMENT LEVEL

*Existing & Proposed Rear Elevations*

August 3, 2015

LPC-14.00

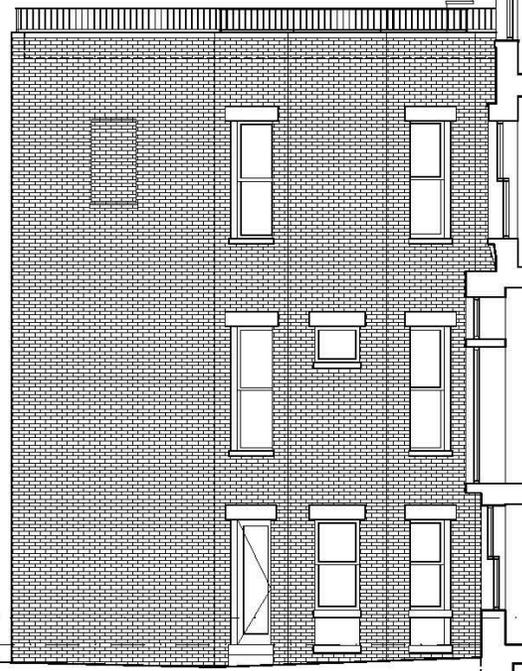
Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010

MAX. BUILDING HEIGHT PER ZONING  
+ 145.8'

CURB LEVEL (BASE PLANE)  
85.8'  
BASEMENT FLOOR  
84.05'

60'-0"

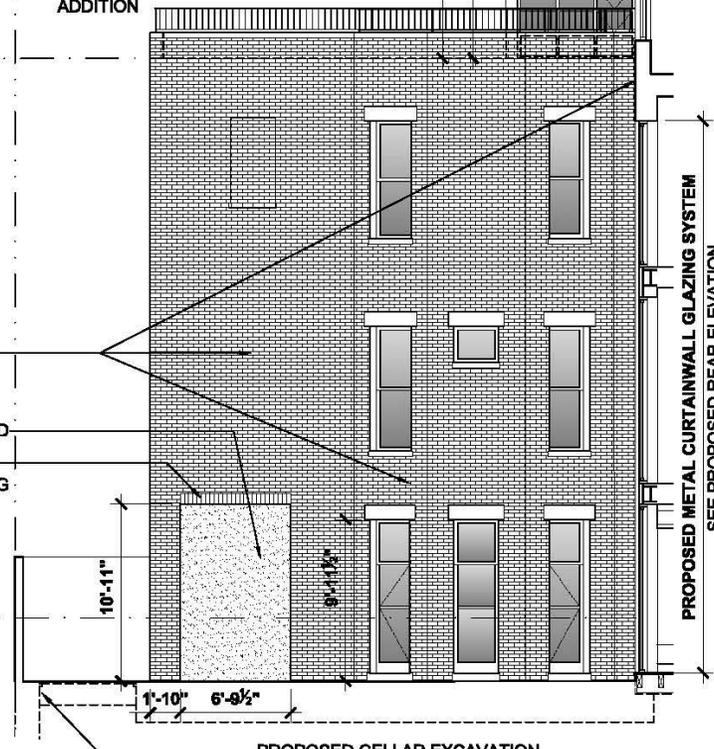


ROOF LEVEL  
+ 143.26'  
T.O. STUDY ROOF  
+ 130.94'  
EXTENSION ROOF LEVEL  
+ 120.17'

EXISTING BRICK TO BE REPAINTED; COLOR TO MATCH EXISTING  
STUCCO FINISH BEYOND  
PROPOSED HEADER COURSE OVER OPENING

PROPOSED GUARD RAIL TO MATCH EXISTING; PAINT BLACK TO MATCH WINDOWS  
PROPOSED BALCONY ABOVE CONSERVATORY  
TRESPA' RAINSCREEN CLADDING SYSTEM  
PROPOSED METAL CURTAINWALL GLAZING SYSTEM; BLACK FRAME  
PROPOSED "CONSERVATORY" ADDITION

12'-4"  
8'-10"



PROPOSED CELLAR EXCAVATION  
SEE SECTIONS

PROPOSED METAL CURTAINWALL GLAZING SYSTEM  
SEE PROPOSED REAR ELEVATION

1 Existing East Elevation at Extension  
Scale : 1/8" = 1'-0"

2 Proposed East Elevation at Extension  
Scale : 1/8" = 1'-0"

LPC-15.00  
*Existing & Proposed Rear Extension Elevations*

August 3, 2015

Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



**A** Existing Condition at SW Corner of Rear Yard



**B** Existing Condition at SE Corner of Rear Yard



**C** View of Neighboring Rear Yards from Upper Roof

NEIGHBORING PROPERTY WITH REAR EXTENSION FEATURES 100% IMPERVIOUS SURFACE COVERAGE

32 W 76TH ST



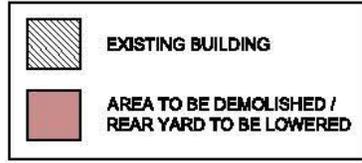
**D** View of Neighboring Rear Yards South of Project Site

PROPERTY WITH REAR EXTENSION SIMILAR TO THIS PROPERTY

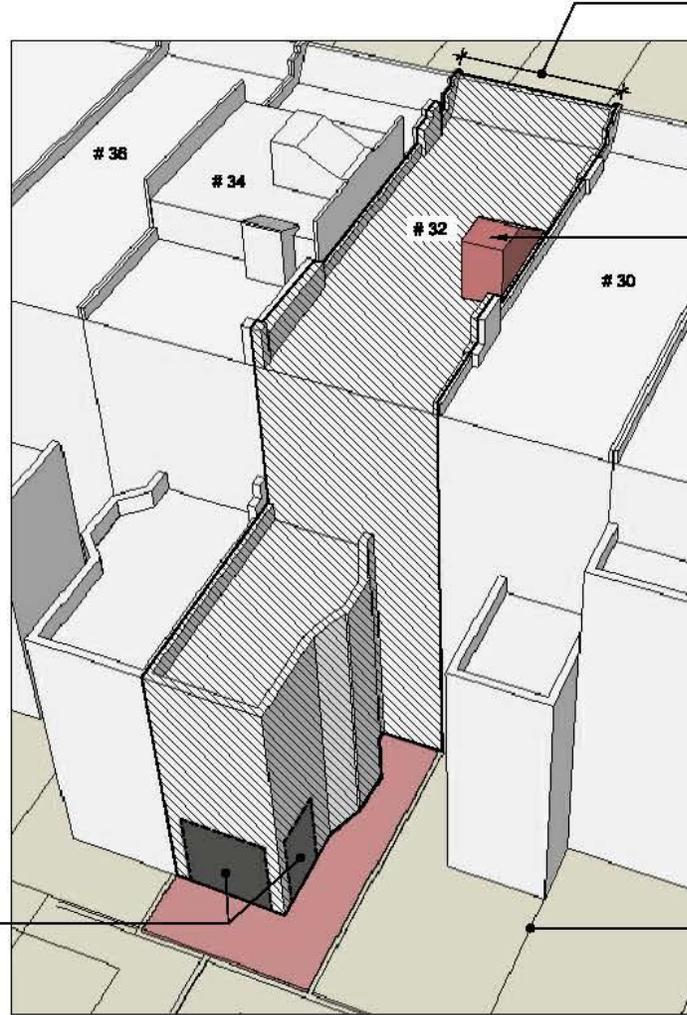
ALL REAR YARDS SHOWN HAVE 100% IMPERVIOUS SURFACE COVERAGE

33 W 75TH ST 35 W 75TH ST

32 W 76TH ST 34 W 76TH ST



EXISTING WALLS IN THESE AREAS TO BE REMOVED FOR COVERED TERRACE AT BASEMENT LEVEL

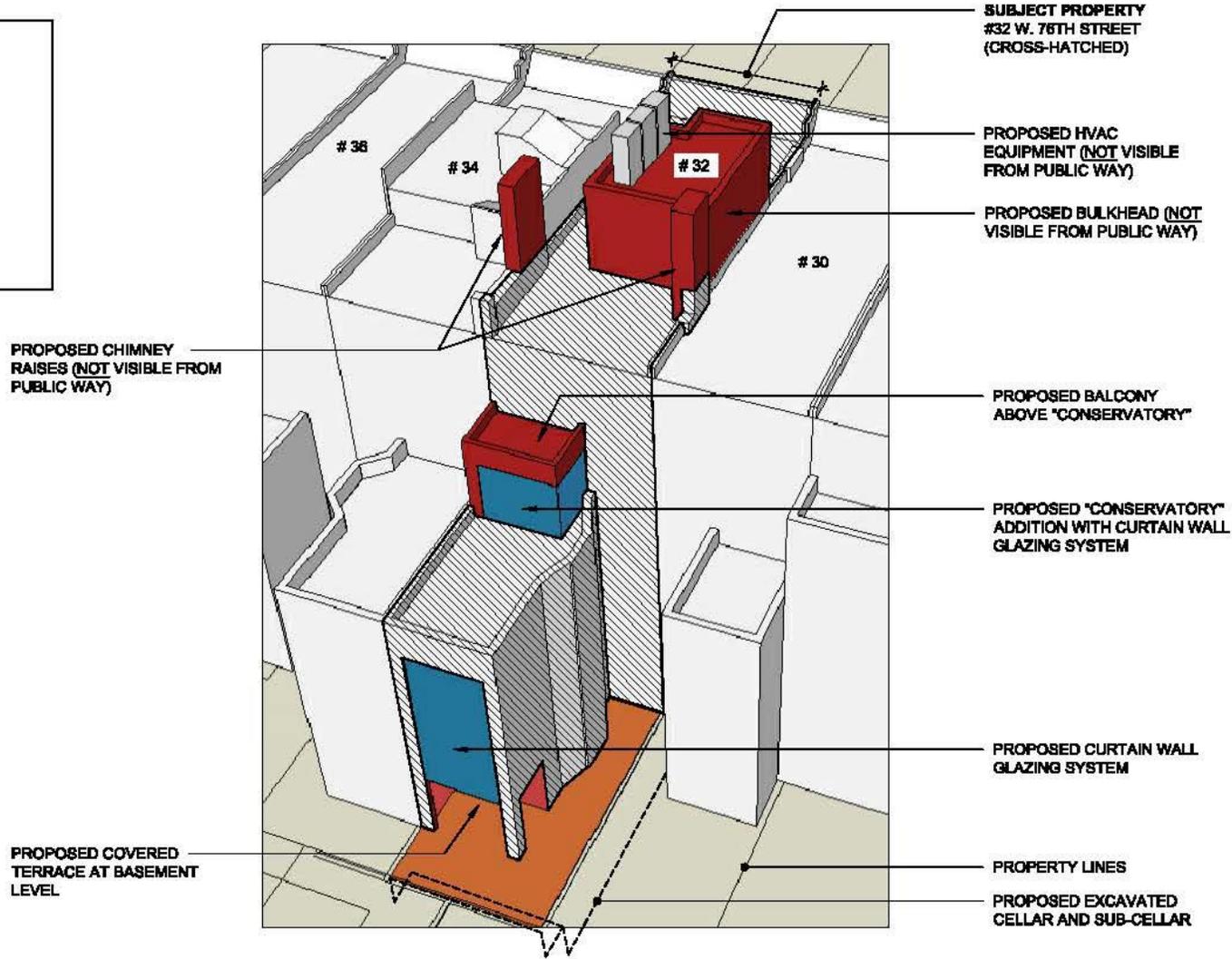
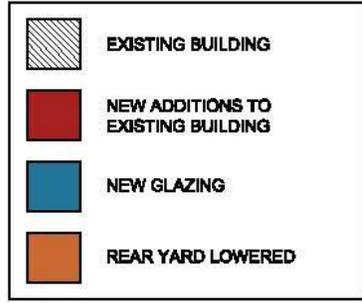


SUBJECT PROPERTY  
#32 W. 76TH STREET  
(CROSS-HATCHED)

EXISTING STAIR  
BULKHEAD TO BE  
DEMOLISHED

PROPERTY LINES

1 Aerial View of Existing Conditions at 32 W. 76th Street Rear Extension  
Not to Scale



1 Aerial View of Proposed Conditions at 32 W. 76th Street Rear Extension  
Not to Scale

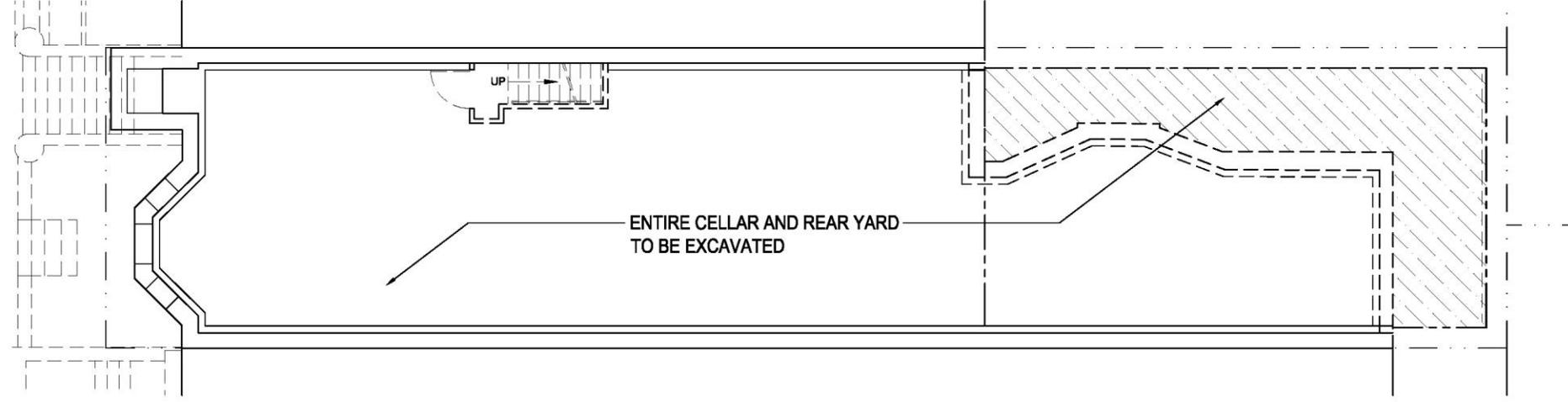
*Aerial View of Proposed Alterations to Rear Extension*

August 3, 2015

LPC-18.00

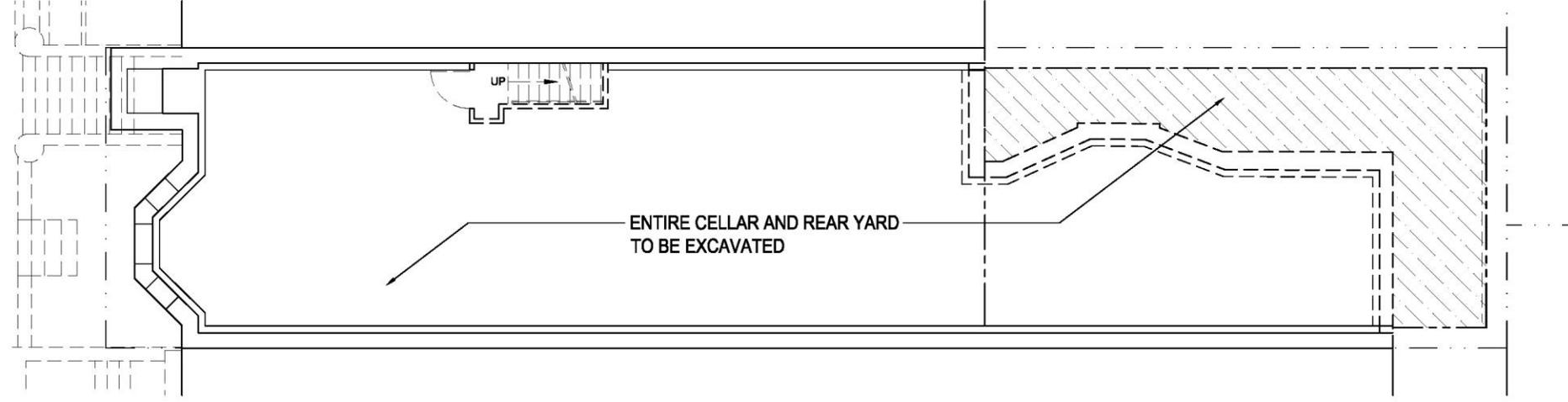
Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



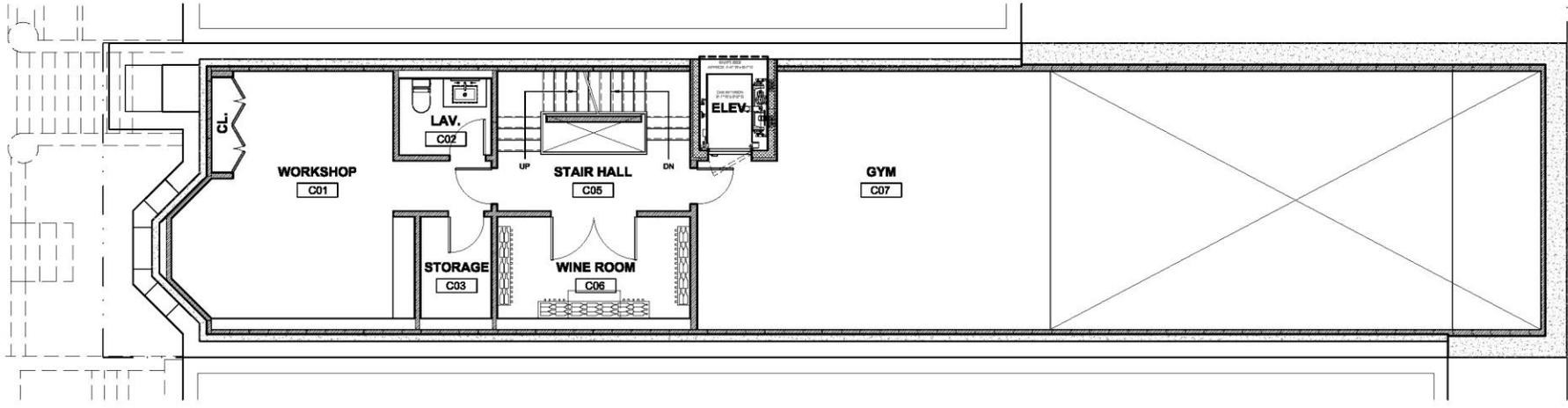
**1 Cellar - Demolition Plan**  
 Scale : 1/8" = 1'-0"

**NOTE:**  
 PARTIAL CELLAR EXCAVATION WITHIN EXISTING  
 BUILDING FOOTPRINT (2'-6" BELOW EXISTING SLAB)  
 UNDER PRIOR LPC PERMIT (DOCKET # 16-6255 ) &  
 DOB APPLICATION.

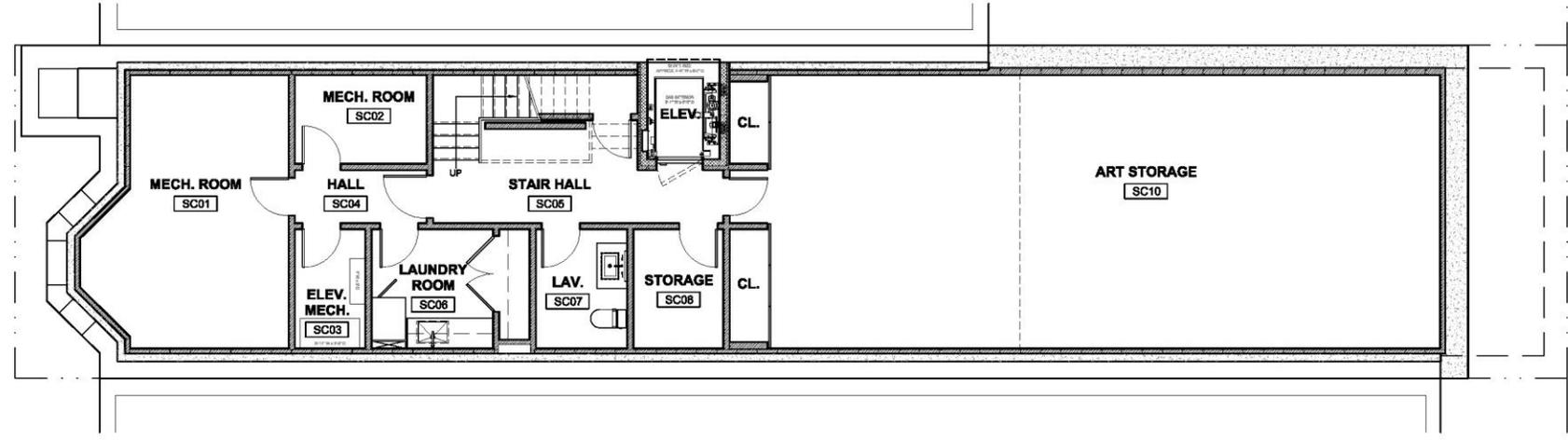


**1 Cellar - Demolition Plan**  
 Scale : 1/8" = 1'-0"

**NOTE:**  
 PARTIAL CELLAR EXCAVATION WITHIN EXISTING  
 BUILDING FOOTPRINT (2'-6" BELOW EXISTING SLAB)  
 UNDER PRIOR LPC PERMIT (DOCKET # 16-6255 ) &  
 DOB APPLICATION.



2 Cellar - Proposed Plan  
Scale : 1/8" = 1'-0"



1 Sub-Cellar - Proposed Plan  
Scale : 1/8" = 1'-0"

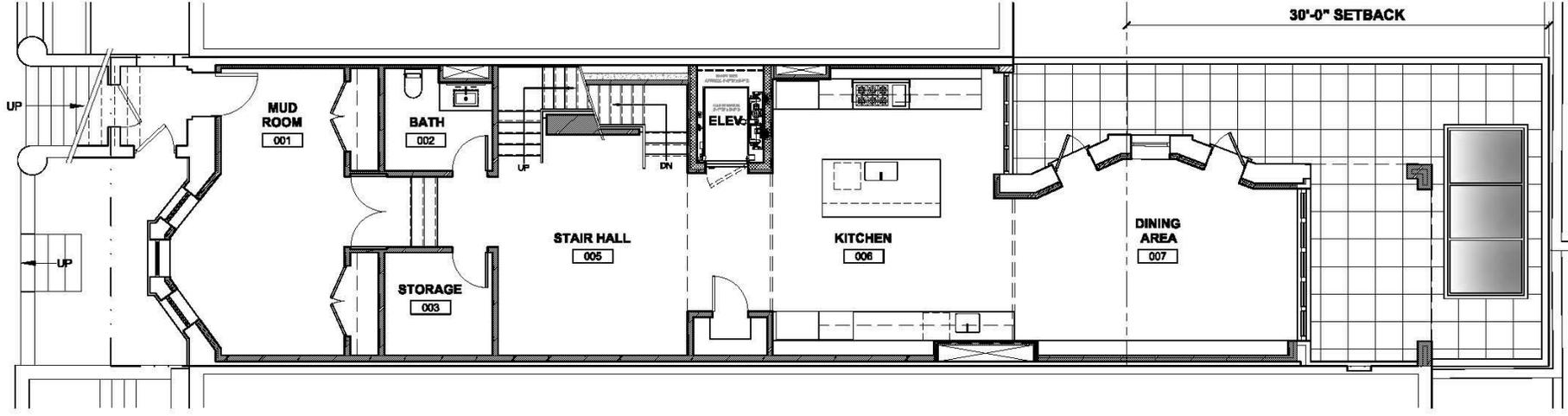
LPC- 21.00

August 3, 2015

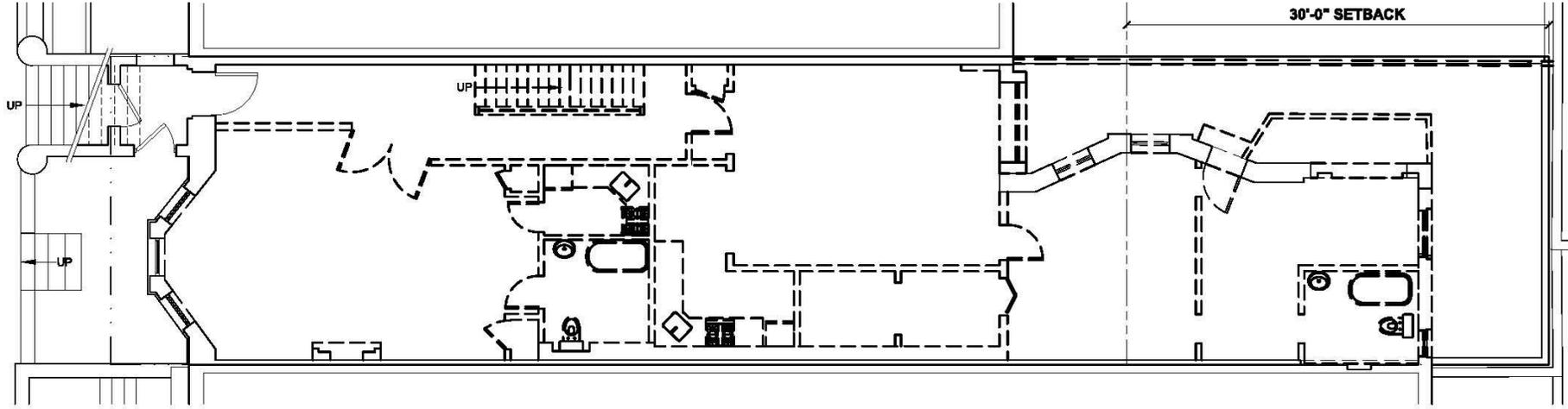
Basement & Cellar Proposed Plans

Alterations to:  
32 West 76th Street, New York, NY 10023  
Landmarks Preservation Commission Preliminary Review

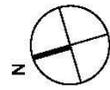
ZIVKOVIC CONNOLLY ARCHITECTS P.C.  
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



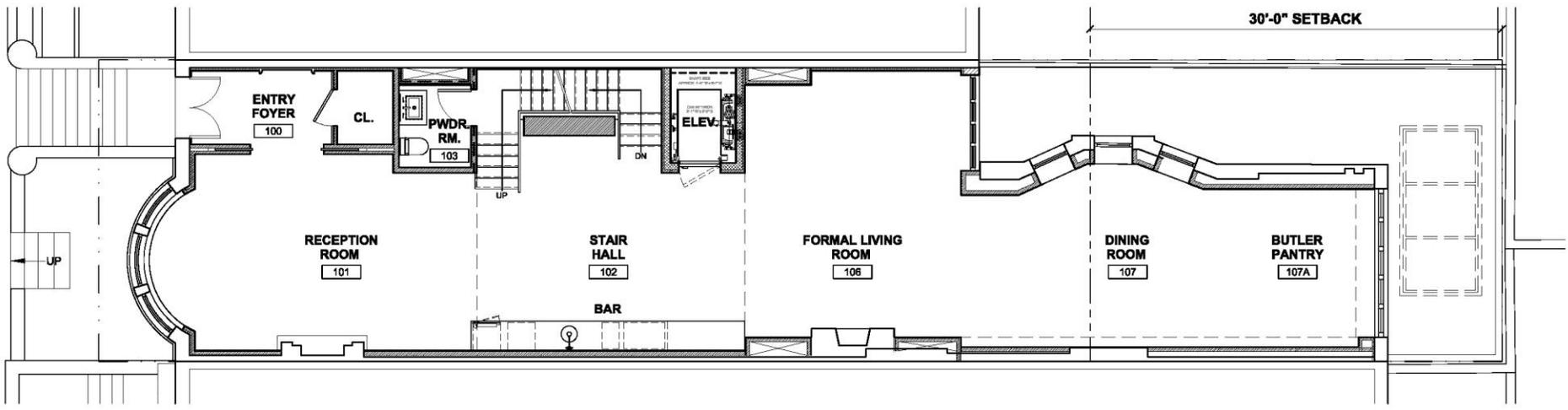
**2** Basement - Proposed Plan  
Scale : 1/8" = 1'-0"



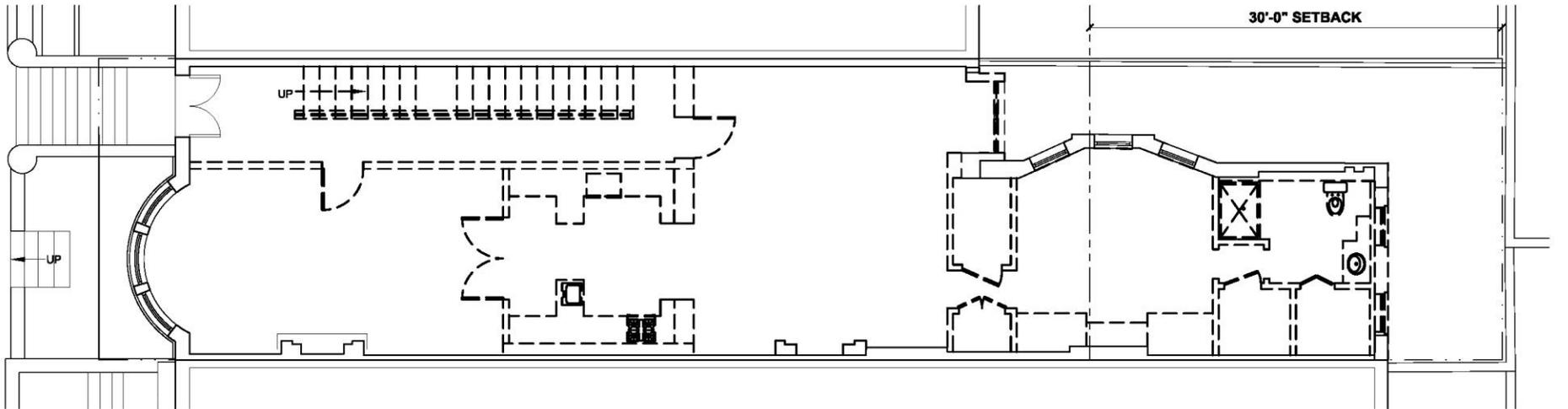
**1** Basement - Demolition Plan  
Scale : 1/8" = 1'-0"



**NOTE:**  
INTERIOR DEMOLITION OF EXISTING  
DWELLING UNITS UNDER PRIOR LPC PERMIT  
(DOCKET # 16-6255 ) & DOB APPLICATION.

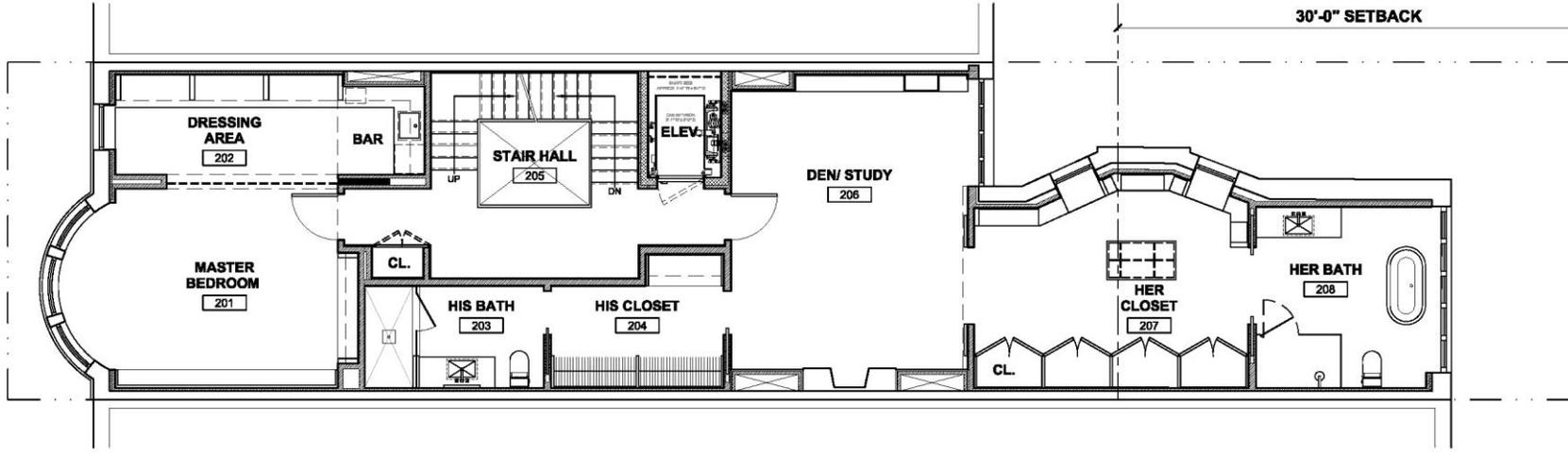


**2 Parlor Floor - Proposed Plan**  
Scale : 1/8" = 1'-0"

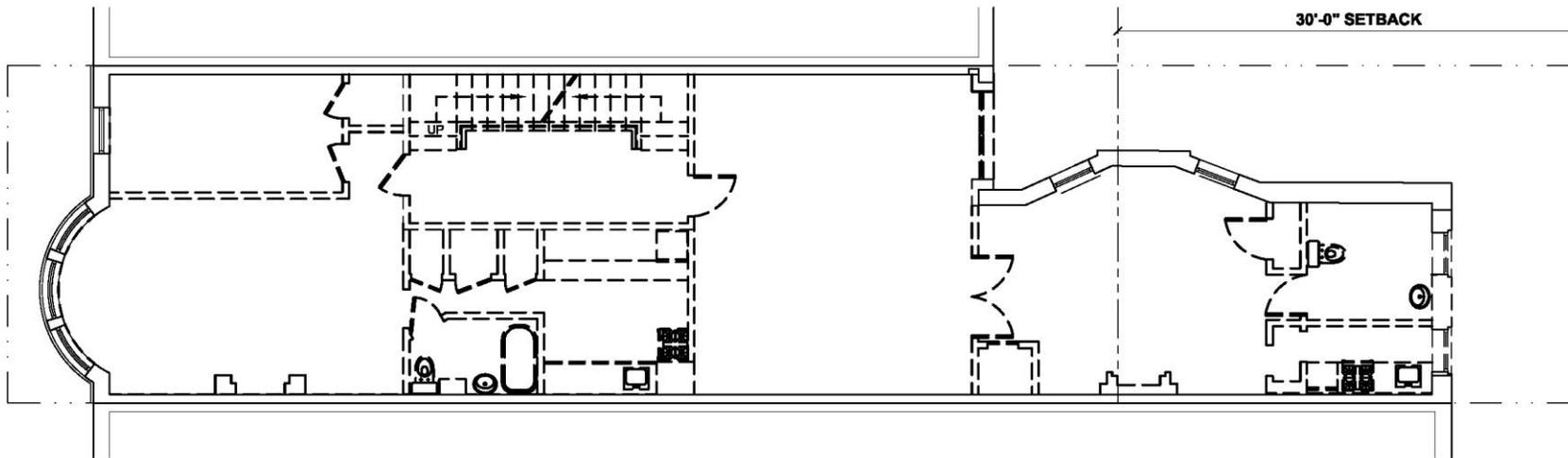


**1 Parlor Floor - Demolition Plan**  
Scale : 1/8" = 1'-0"

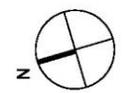
**NOTE:**  
INTERIOR DEMOLITION OF EXISTING DWELLING UNITS UNDER PRIOR LPC PERMIT (DOCKET # 16-6255) & DOB PERMIT.



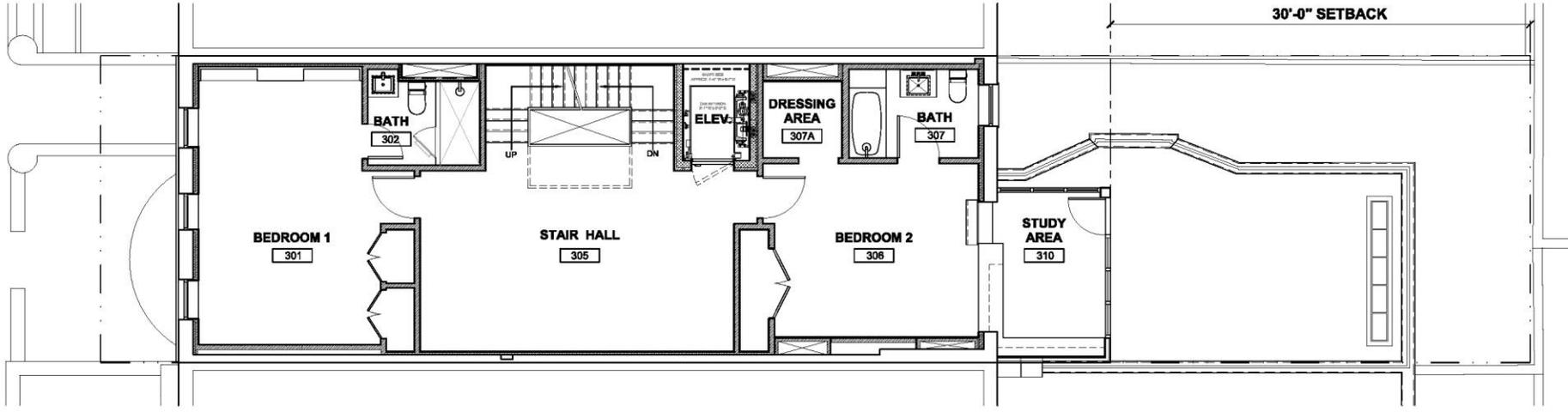
2 Second Floor - Proposed Plan  
Scale : 1/8" = 1'-0"



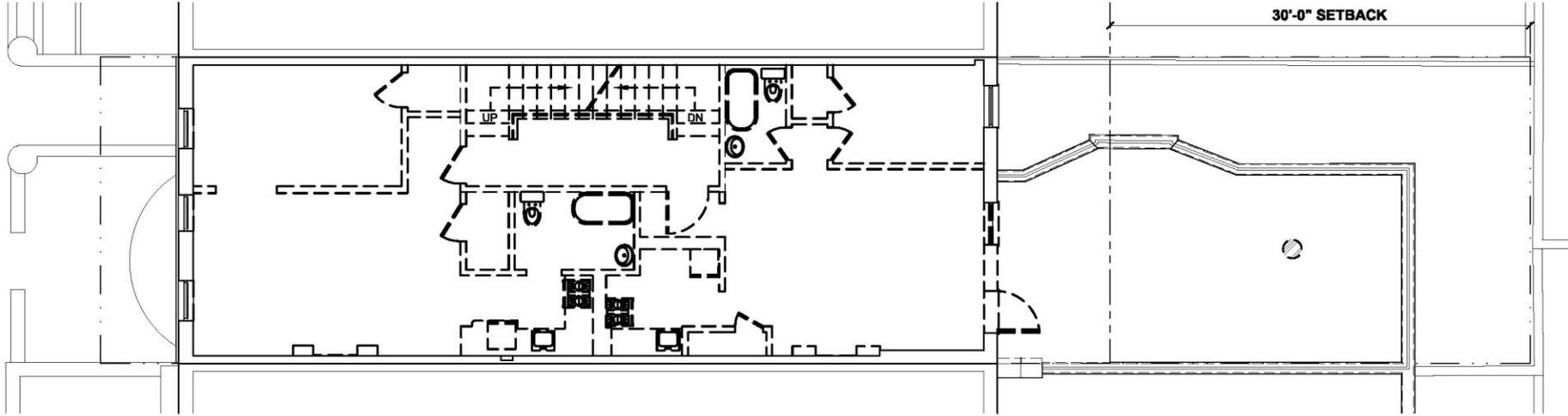
1 Second Floor - Demolition Plan  
Scale : 1/8" = 1'-0"



NOTE:  
INTERIOR DEMOLITION OF EXISTING  
DWELLING UNITS UNDER PRIOR LPC PERMIT  
(DOCKET # 16-6255 ) & DOB PERMIT.



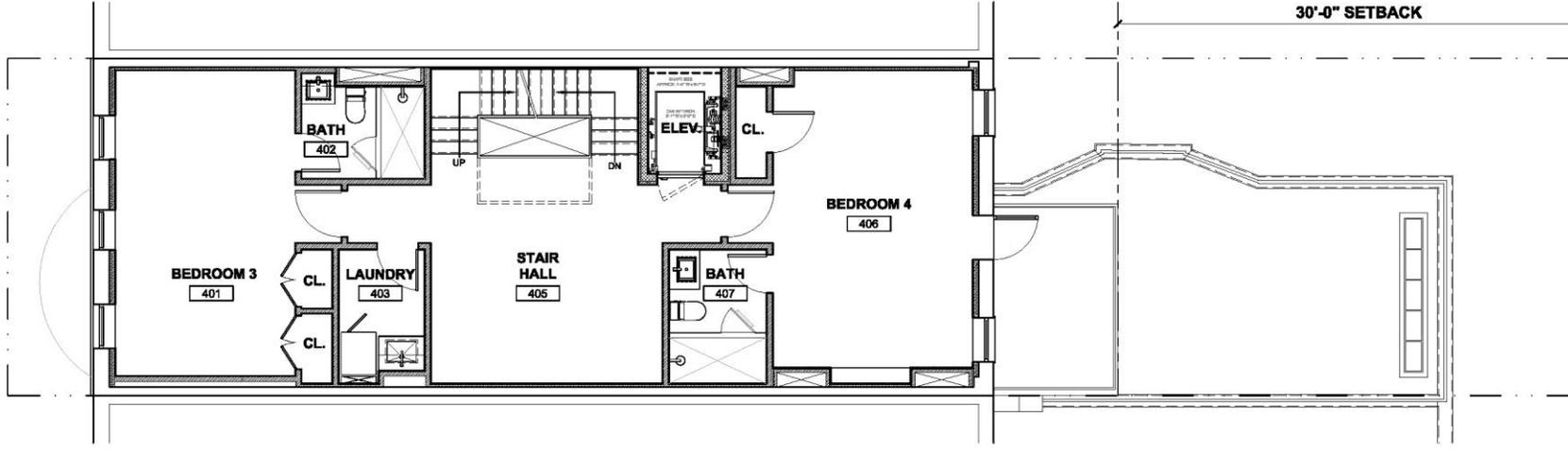
2 Third Floor - Proposed Plan  
Scale : 1/8" = 1'-0"



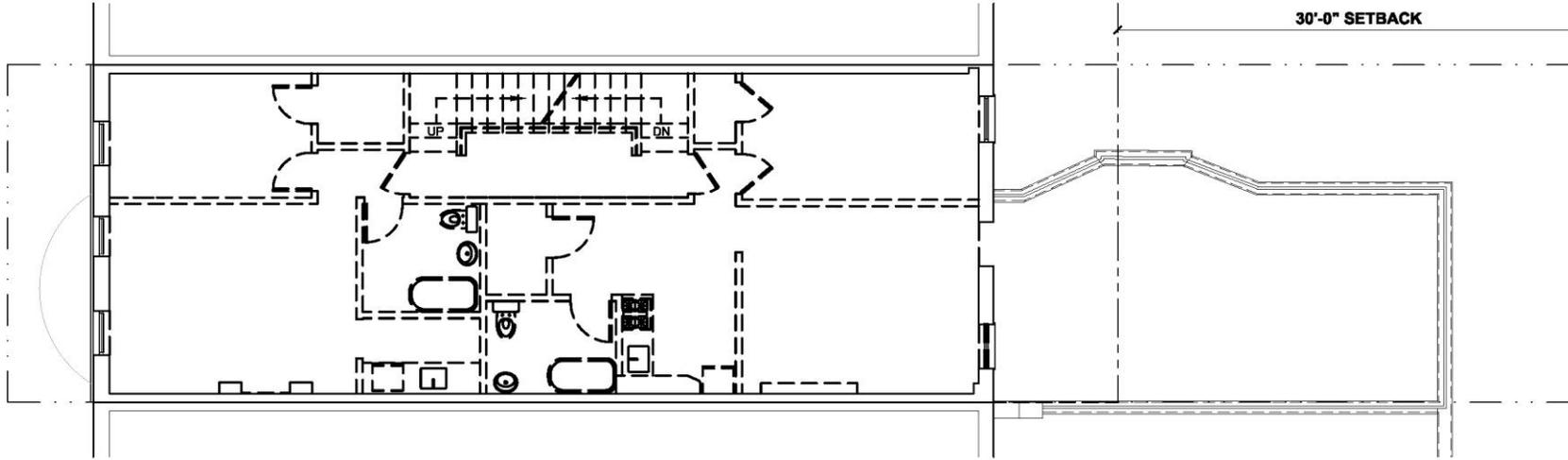
1 Third Floor - Demolition Plan  
Scale : 1/8" = 1'-0"



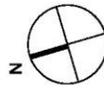
NOTE:  
INTERIOR DEMOLITION OF EXISTING  
DWELLING UNITS UNDER PRIOR LPC PERMIT  
(DOCKET # 16-6255 ) & DOB PERMIT.



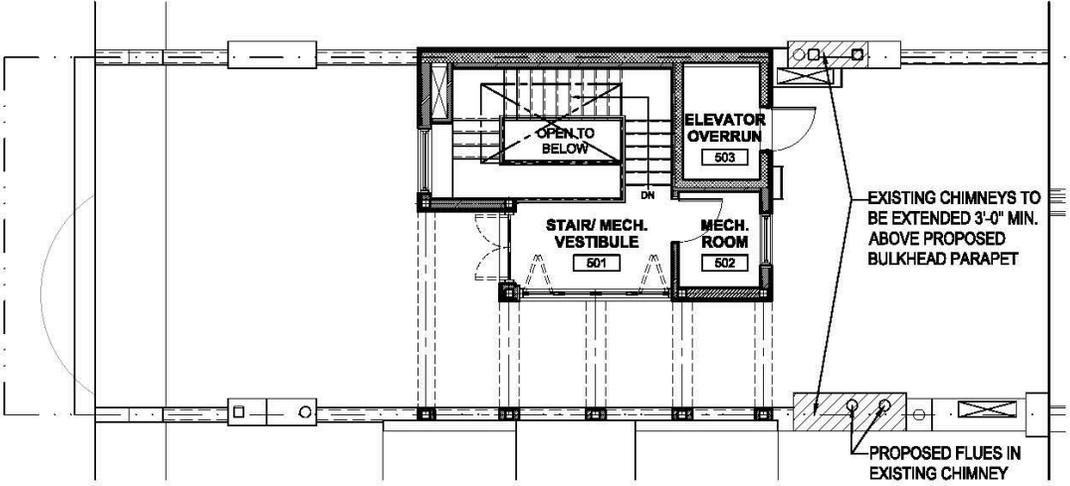
2 Fourth Floor - Proposed Plan  
Scale : 1/8" = 1'-0"



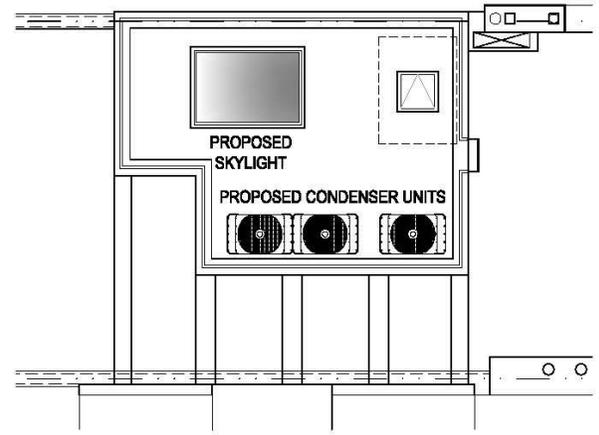
1 Fourth Floor - Demolition Plan  
Scale : 1/8" = 1'-0"



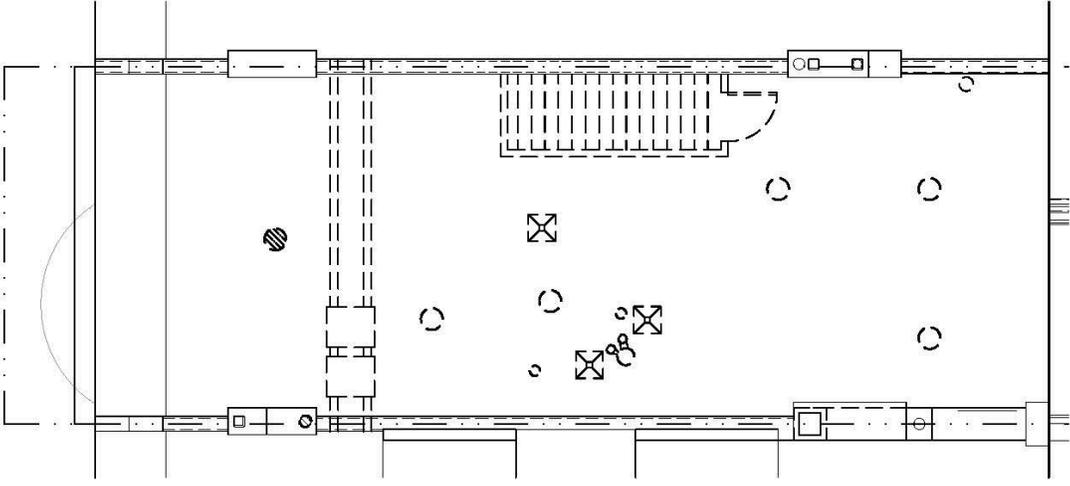
NOTE:  
INTERIOR DEMOLITION OF EXISTING  
DWELLING UNITS UNDER PRIOR LPC PERMIT  
(DOCKET # 16-6255 ) & DOB PERMIT.



2 Proposed Bulkhead Level & Roof Plan  
Scale : 1/8" = 1'-0"



3 Proposed Bulkhead Roof Plan  
Scale : 1/8" = 1'-0"



1 Roof - Demolition Plan  
Scale : 1/8" = 1'-0"