

The area surrounding 346 Bleecker Street is a mix of residential dwellings and businesses with street level storefronts.

The area consists of vibrant and diverse residential and commercial districts frequently portrayed in television and movies. The West Village is one of the nation's focal points for LGBT rights movements both historically and current.

With narrow, tree-lined streets that follow original horse paths, West Village has a historic nature. Bleecker Street is vastly adopting the nickname for "Pharmacy Row."

CROSS STREETS: West 10th Street, Christopher Street

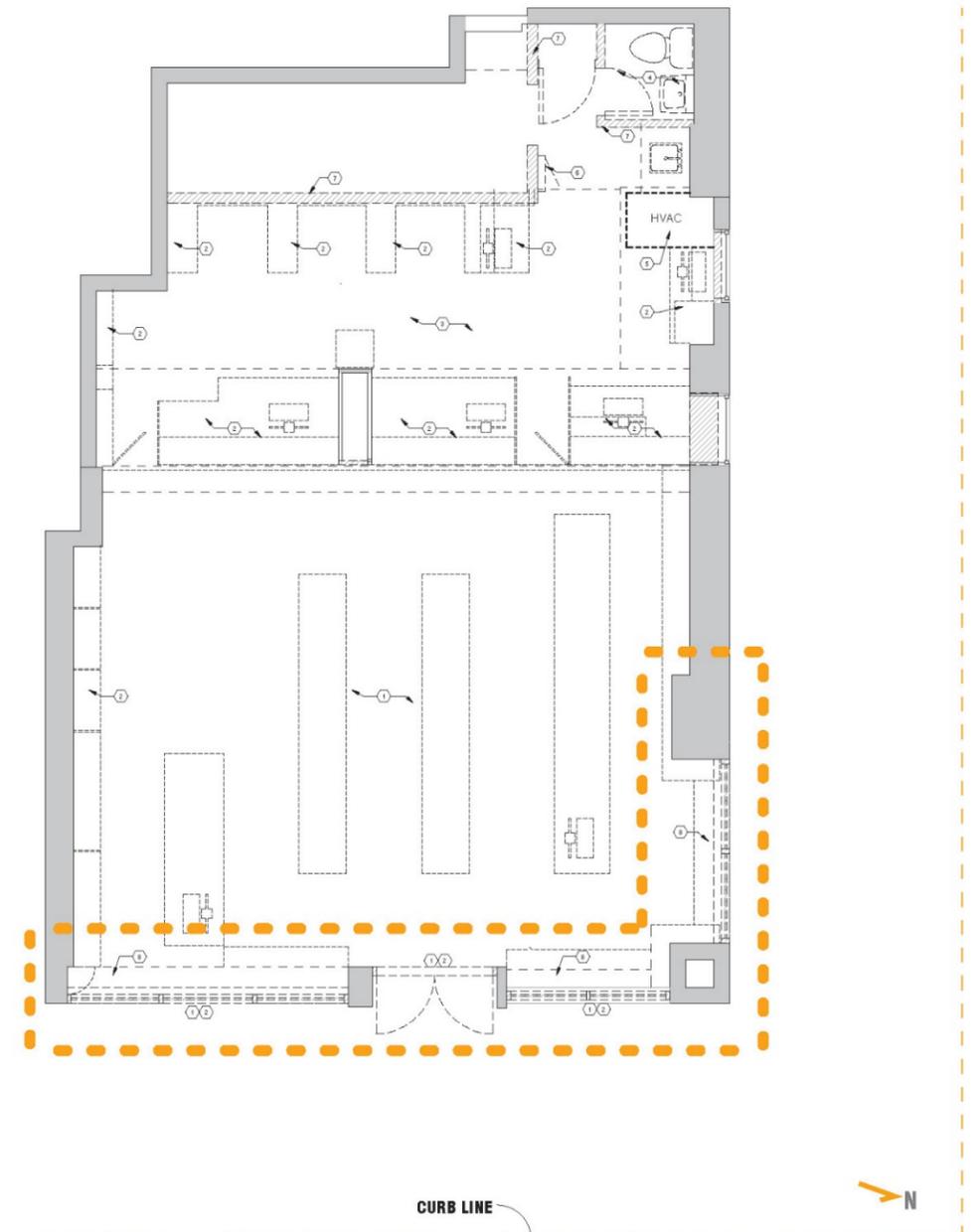
POLICE PRECINCT: Precinct 006
SCHOOL DISTRICT: Manhattan 02
COMMUNITY BOARD: Manhattan 02

BOROUGH: Manhattan
BLOCK: 619
LOT: 26
BOROUGH BLOCK & LOT (BBL): 1006190026

OWNER: Phillips and Huyler L

LOT AREA: 4650 s.f.
LOT FRONTAGE: 90.5' **LOT DEPTH:** 50.17

YEAR BUILT: 1930
NUMBER OF FLOORS: 6
GROSS FLOOR AREA: 23,165 s.f. (estimated)
LAND USE: Multi-Family Elevator Buildings
ZONING: C1-6
ZONING MAP #:12A





ADJACENT BUILDINGS ON BLEECKER ST. CORNER VIEW FROM BLEECKER ST.



340 BLEECKER ST. / 342 BLEECKER ST. / 346 BLEECKER ST.



CORNER VIEW FROM 10TH ST.



A: IMAGE | DESIGNATION PHOTOGRAPH (BLEECKER ST.) **PMW-83-181 Designation**



346 BLEECKER - S.F. APPROVED COFA 91-0062

B: IMAGE | DESIGNATION PHOTOGRAPH (BLEECKER ST.)



ENLARGED BUTT-GLAZED WINDOW UNIT WITH BLACK ANODIZED FRAME TO BRIDGE INDOOR SPACE WITH THE OUTDOORS - REPLACES UNORIGINAL STUCCO BULKHEAD

FIBER REINFORCED CONCRETE PANEL (F.R.C.P.) RAIN SCREEN - REPLACES UNORIGINAL STUCCO - MINIMAL GROUT JOINTS AND SIZING COORDINATES WITH ZINC PANEL

PROPOSED ADA COMPLIANT ENTRY DOOR

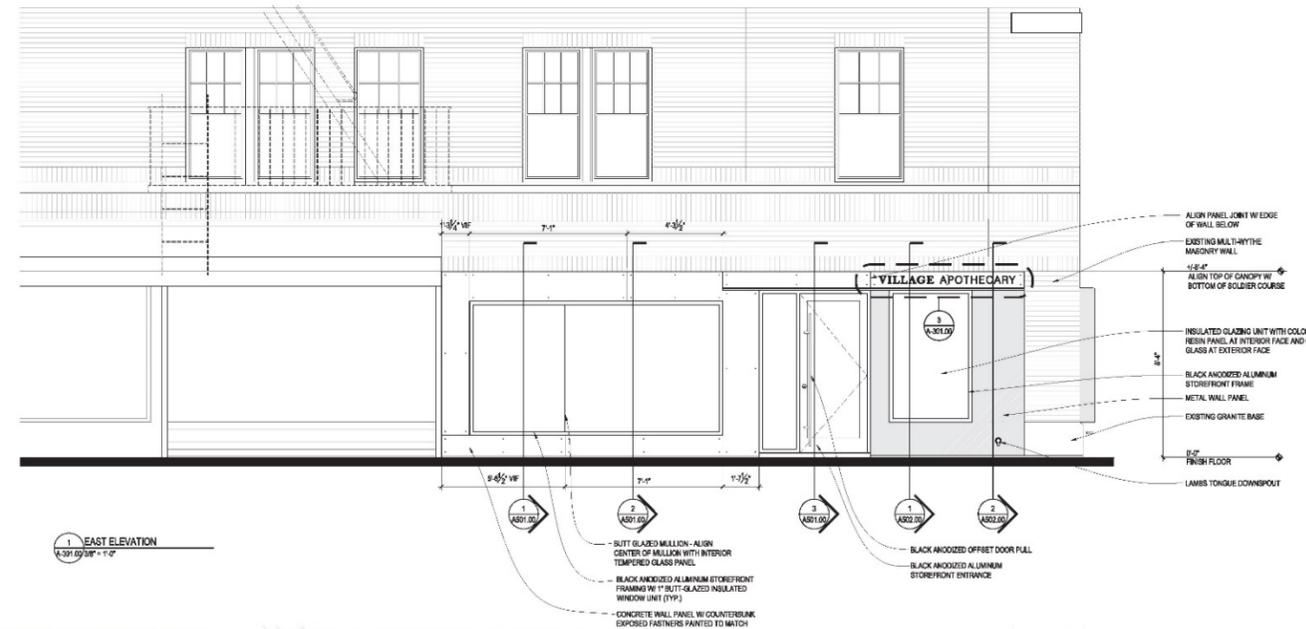
EXISTING GRANITE BULKHEAD
DARK CHARCOAL ZINC PANEL REPLACES UNORIGINAL STUCCO
TRANSLUCENT AMBER WINDOW UNIT WITH BLACK ANODIZED FRAME

EXISTING BRICK TO BE EXPOSED
EXISTING BRICK EXPOSED - PATCHED & REPAIRED TO ORIGINAL CONDITION

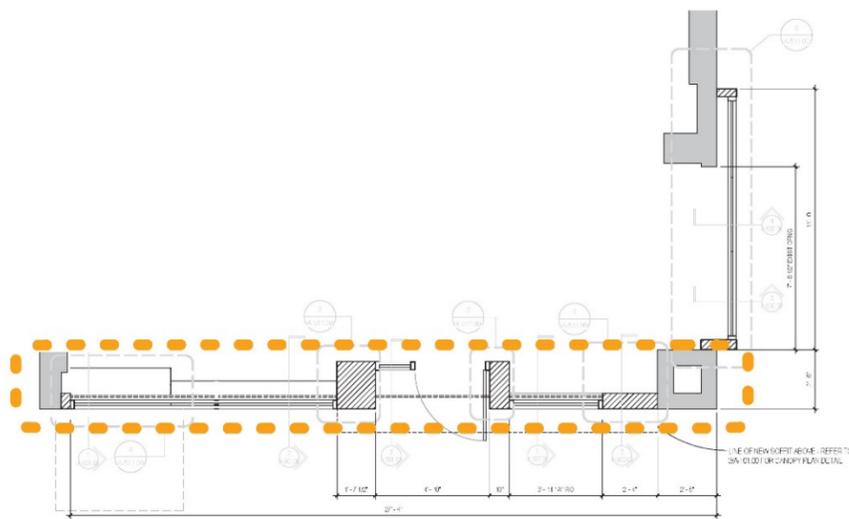
C: IMAGE | PROPOSED RENDERING (BLEECKER ST.)



EXISTING ELEVATION
(BLEECKER ST.)



PROPOSED ELEVATION
(BLEECKER ST.)



PROPOSED FLOOR PLAN



EXISTING BRICK TO BE EXPOSED

EXISTING BRICK EXPOSED - PATCHED & REPAIRED TO ORIGINAL CONDITION

PROPOSED ELEVATION
RENDERING (BLEECKER ST.)

ENLARGED BUTT-GLAZED WINDOW UNIT WITH BLACK ANODIZED FRAME TO BRIDGE INDOOR SPACE WITH THE OUTDOORS - REPLACES UNORIGINAL STUCCO BULKHEAD

FIBER REINFORCED CONCRETE PANEL (F.R.C.P.) RAIN SCREEN - REPLACES UNORIGINAL STUCCO - MINIMAL GROUT JOINTS AND SIZING COORDINATES WITH ZINC PANEL

PROPOSED ADA COMPLIANT ENTRY DOOR

EXISTING GRANITE BULKHEAD

DARK CHARCOAL ZINC PANEL REPLACES UNORIGINAL STUCCO

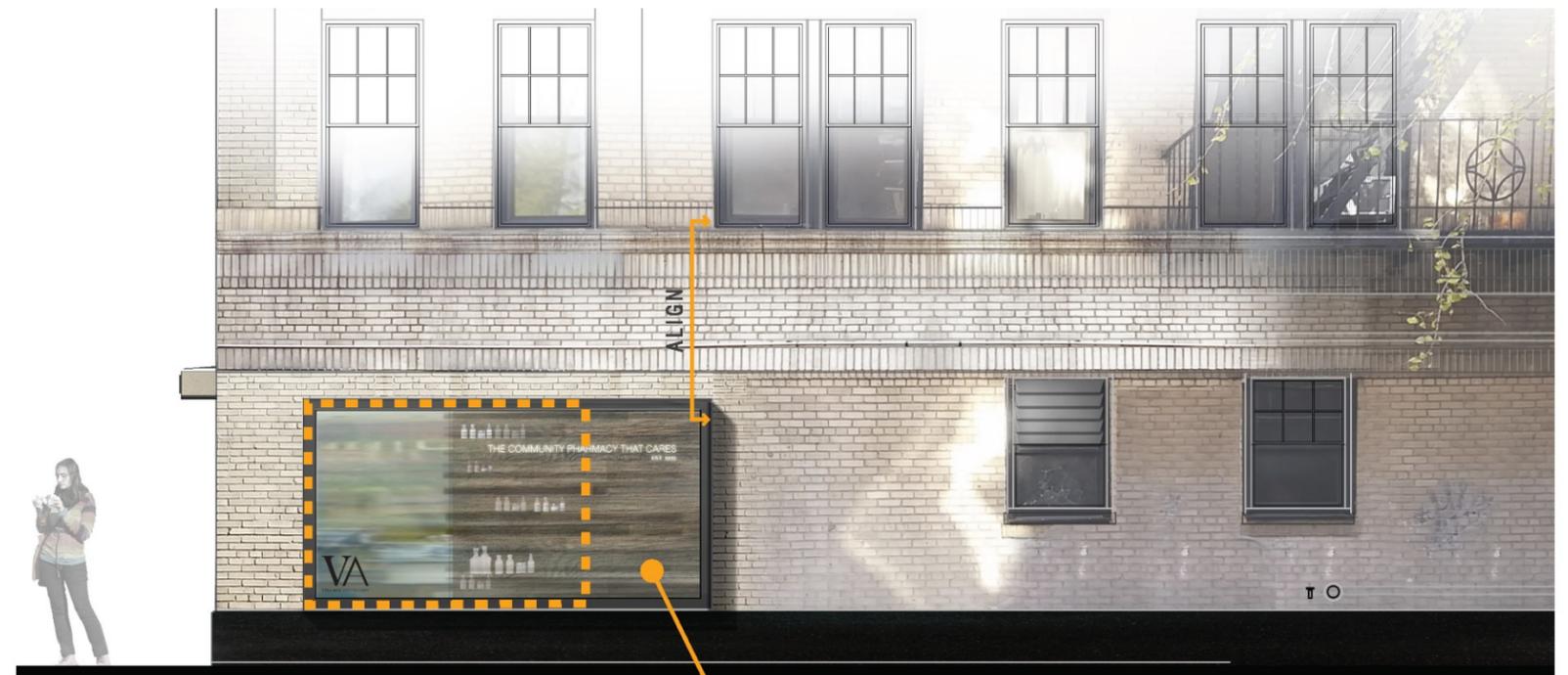
TRANSLUCENT AMBER WINDOW UNIT WITH BLACK ANODIZED FRAME



A: IMAGE | TAX PHOTOGRAPH (VIEW FROM 10TH ST.)

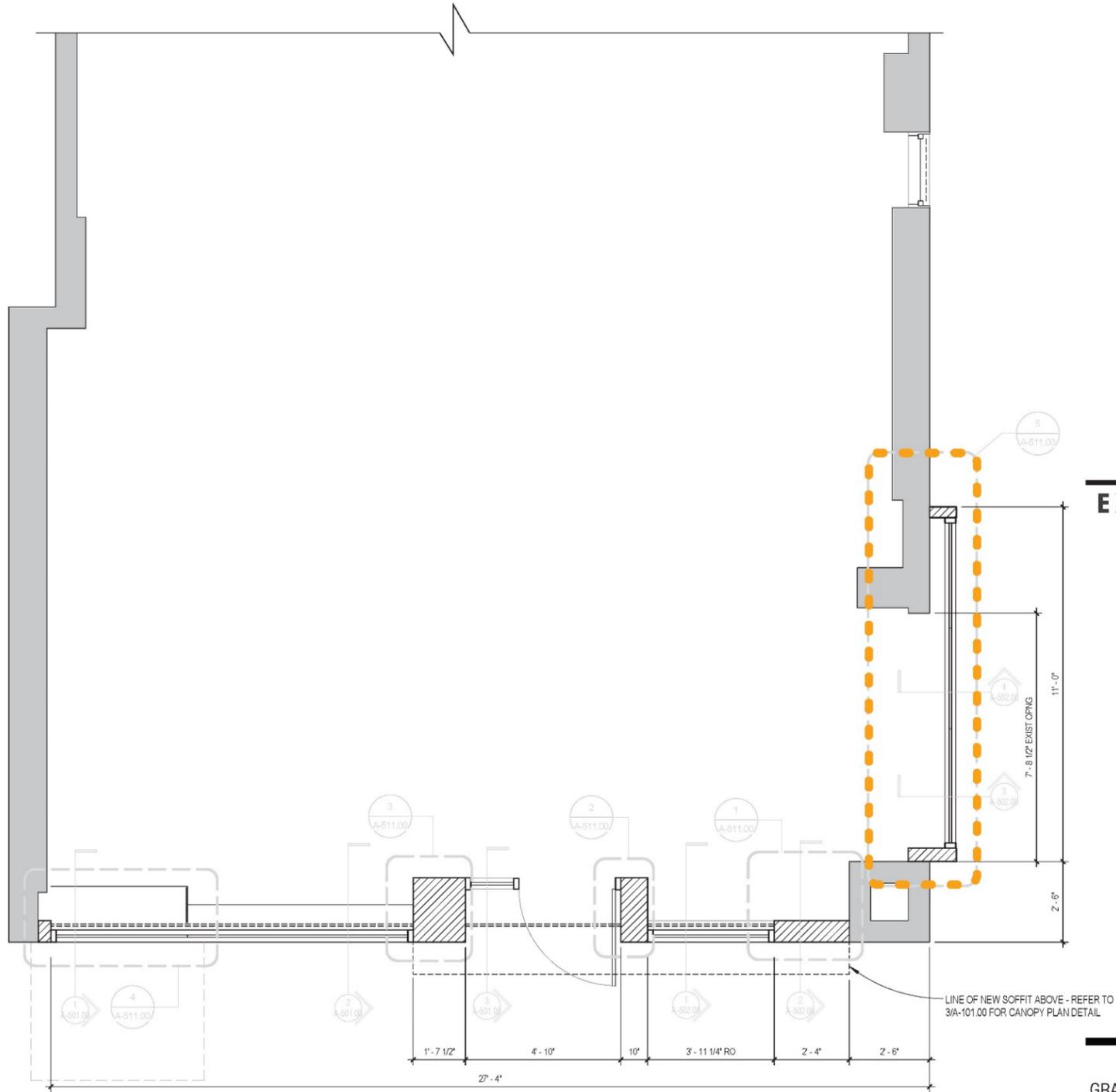


B: IMAGE | EXISTING PHOTOGRAPH (10TH ST.)

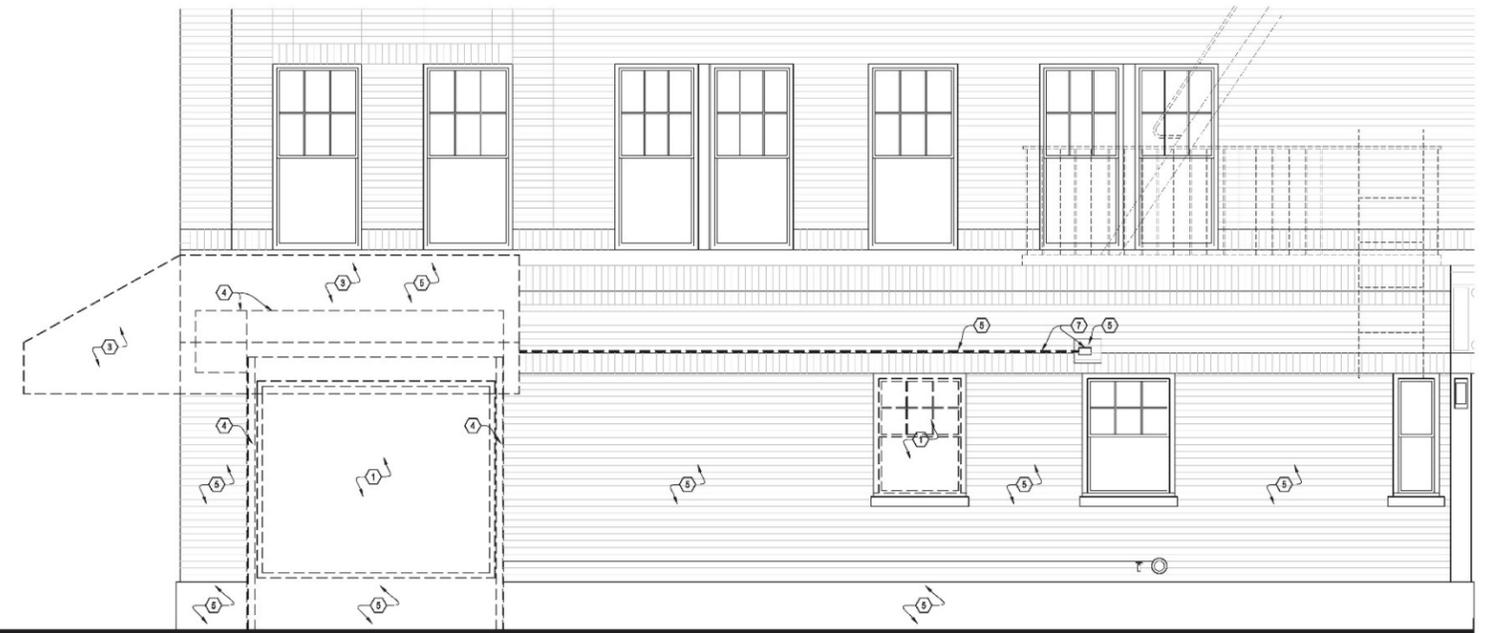


PROPOSED DISPLAY WINDOW EXTENDS 3'-0" BEYOND EXISTING AND ALIGNS WITH SECOND STORY WINDOW.

C: IMAGE | PROPOSED RENDERING (10TH ST.)



PROPOSED FLOOR PLAN

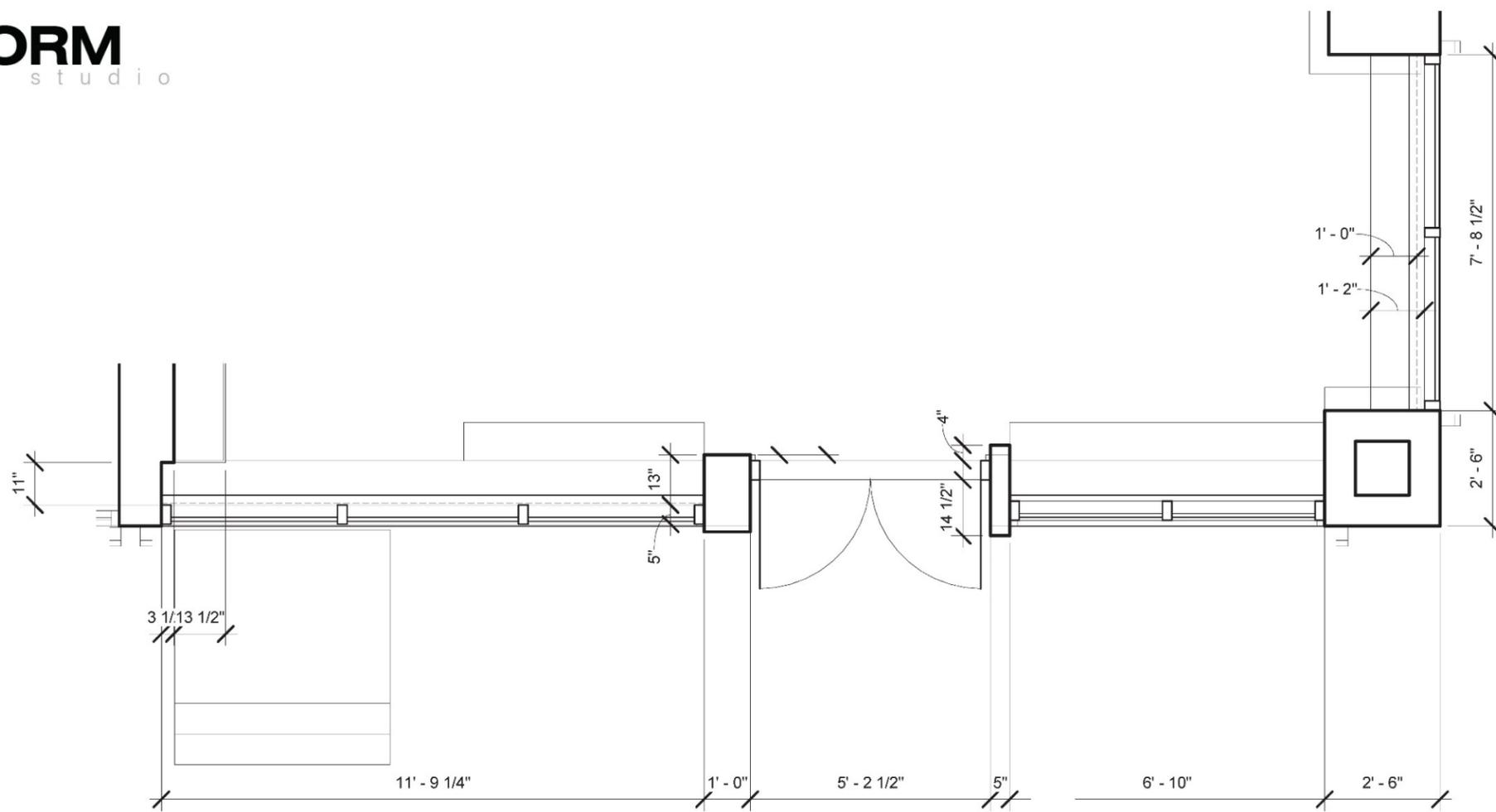


EXISTING ELEVATION DEMOLITION (10TH ST.)

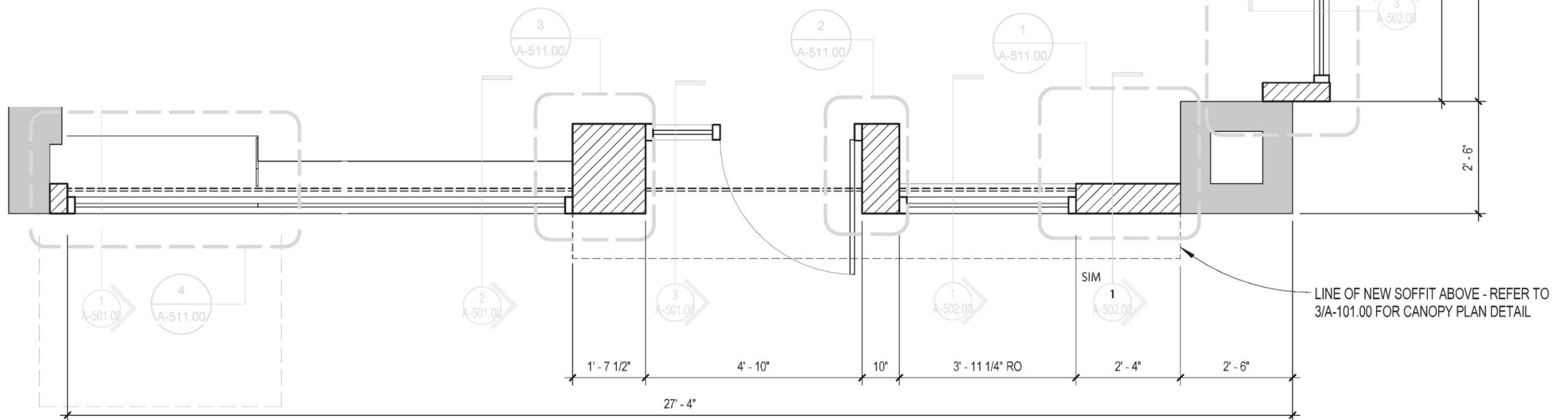


- EXISTING BRICK
- GRANITE BULKHEAD TO MATCH EXISTING
- STACKED TIMBER DISPLAY SHELVING BEYOND
- BOXED-OUT DISPLAY WINDOW UNIT WITH BLACK ANODIZED FRAME

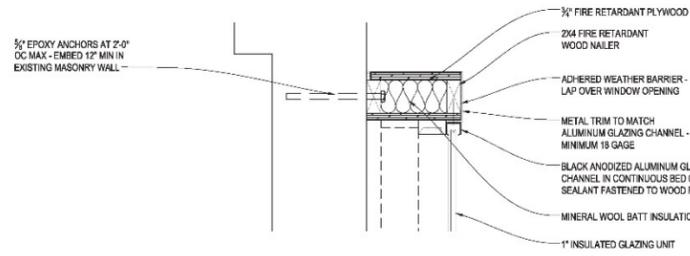
PROPOSED ELEVATION (10TH ST.)



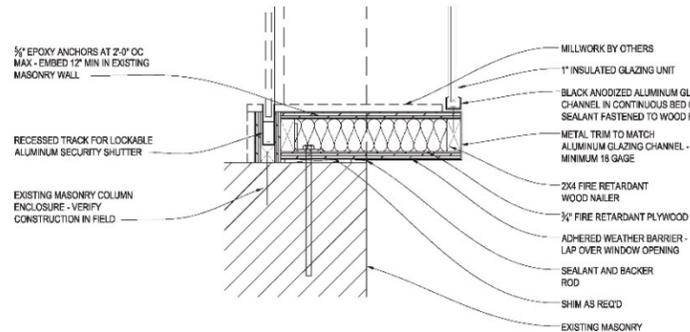
EXISTING FLOOR PLAN AT STOREFRONT | scale: NTS



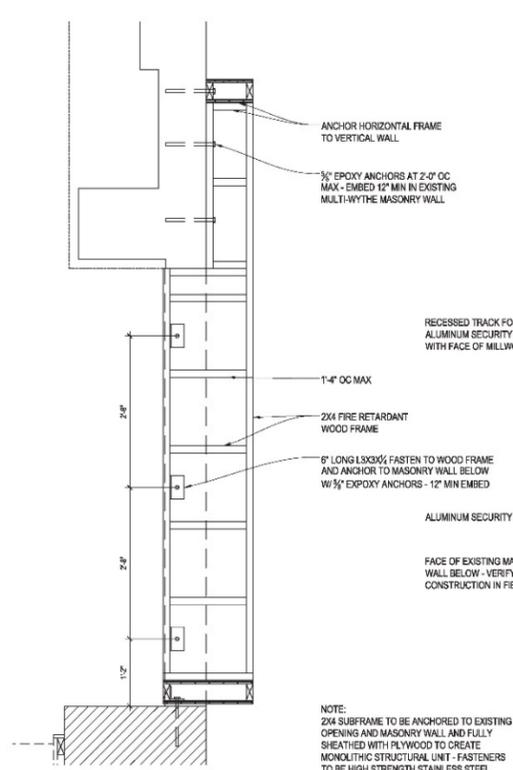
PROPOSED FLOOR PLAN AT STOREFRONT | scale: NTS



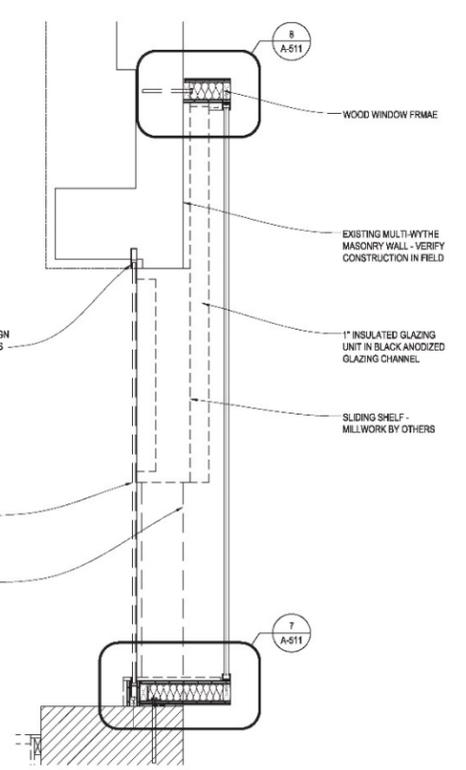
6 DETAIL - PLAN
A-511.00 NTS



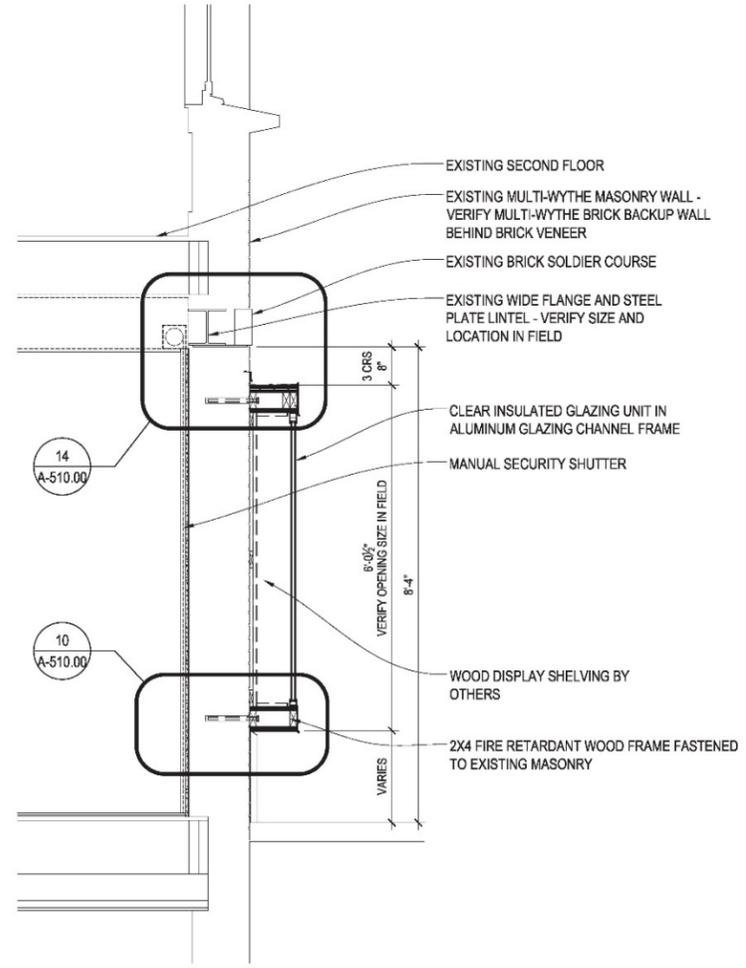
7 DETAIL - PLAN
A-511.00 NTS



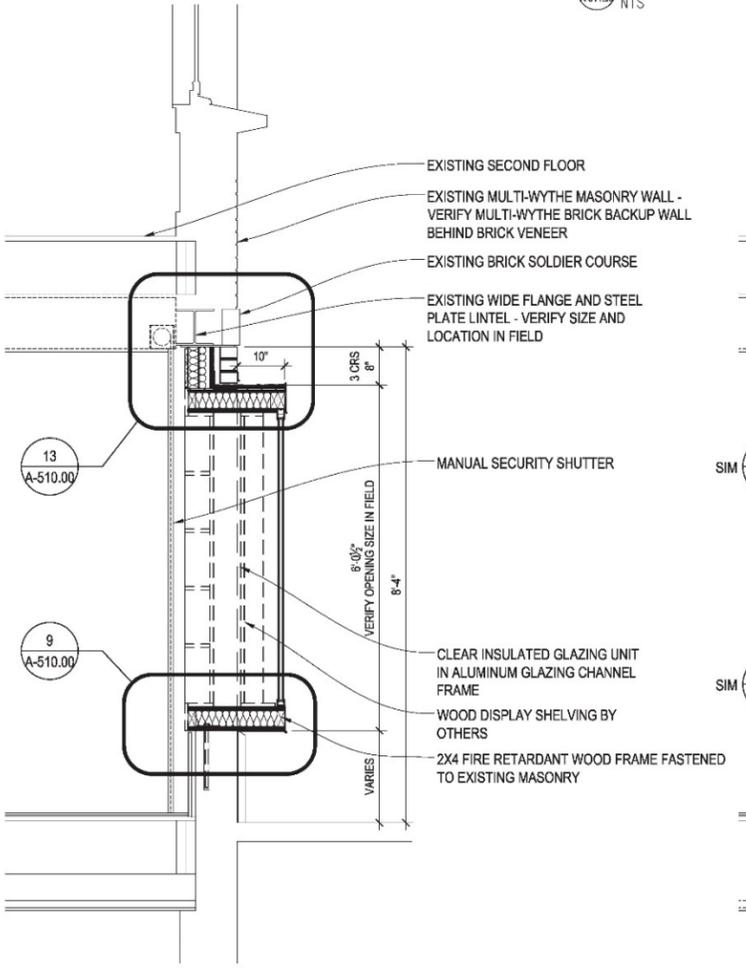
6 WINDOW BOX - FRAMING PLAN
A-511.00 NTS



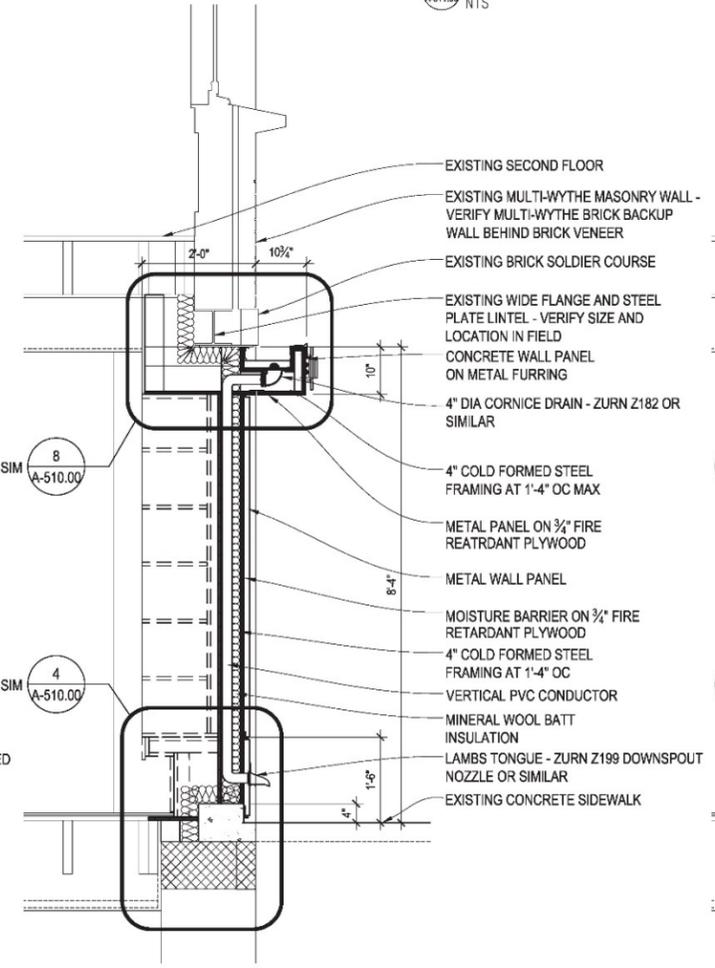
5 WINDOW BOX - PLAN
A-511.00 NTS



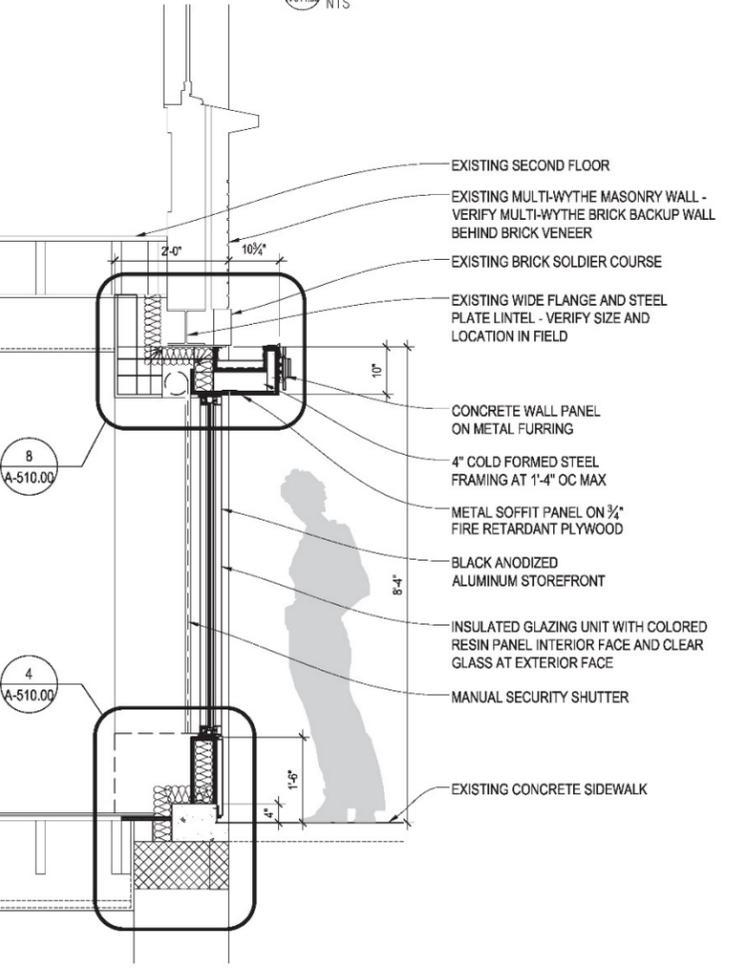
4 SECTION
A-502.00 NTS



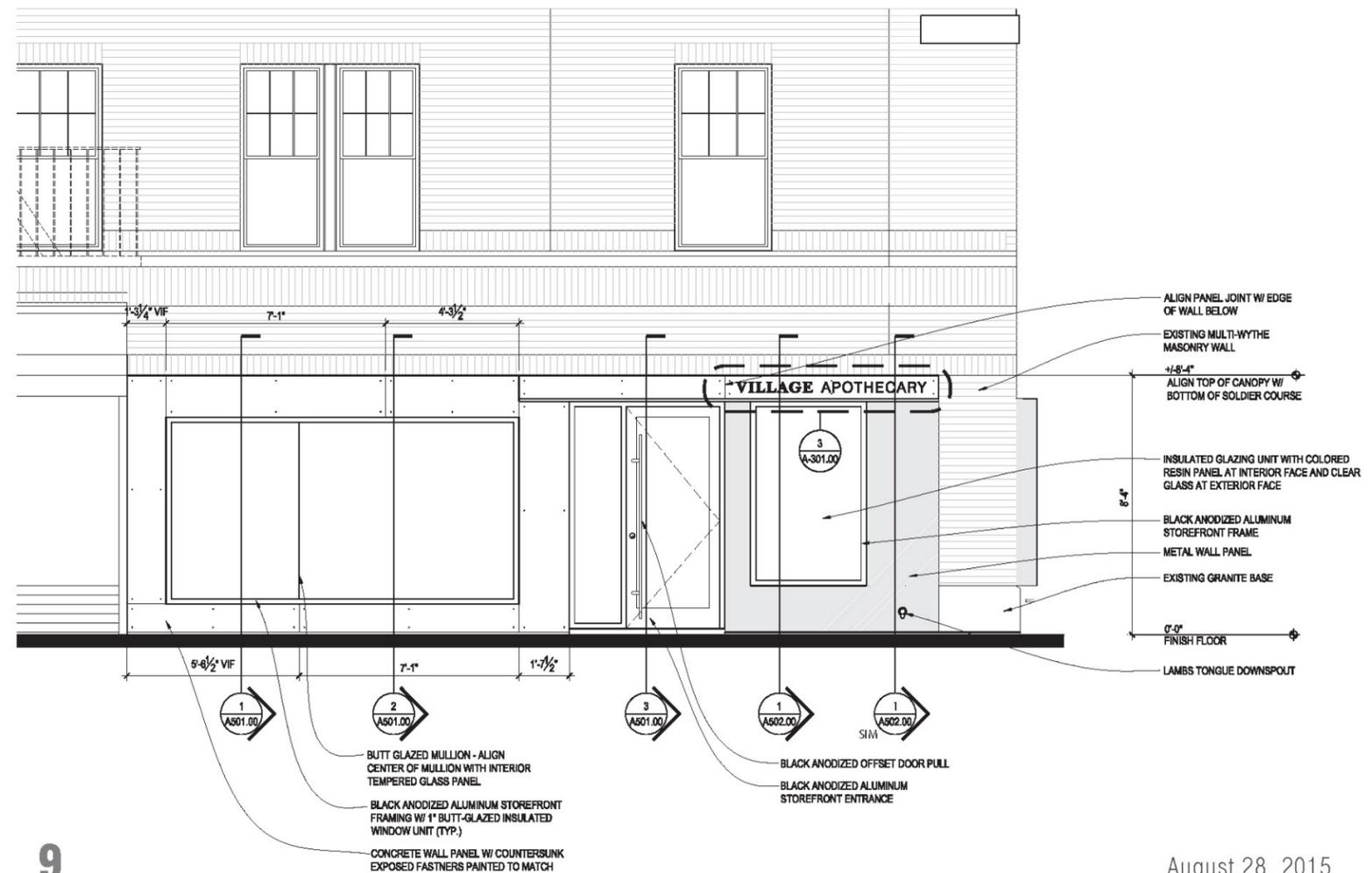
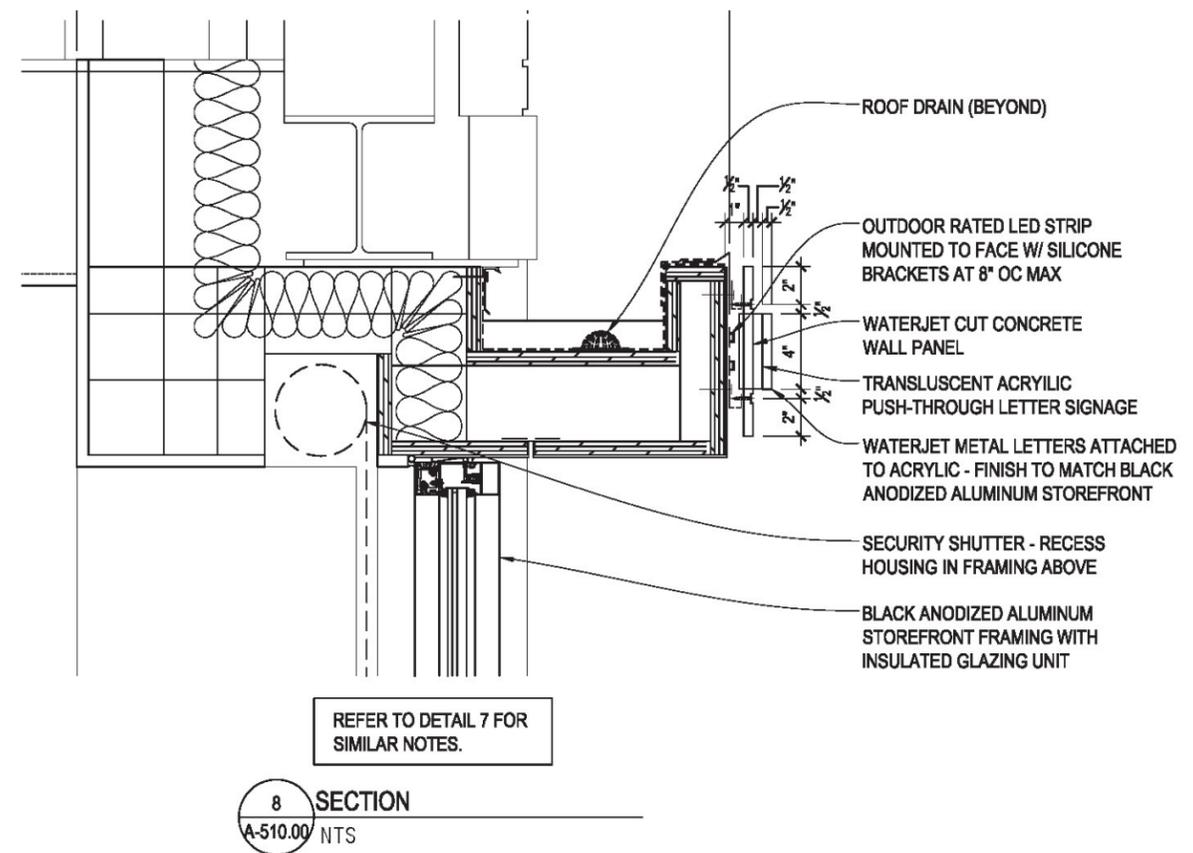
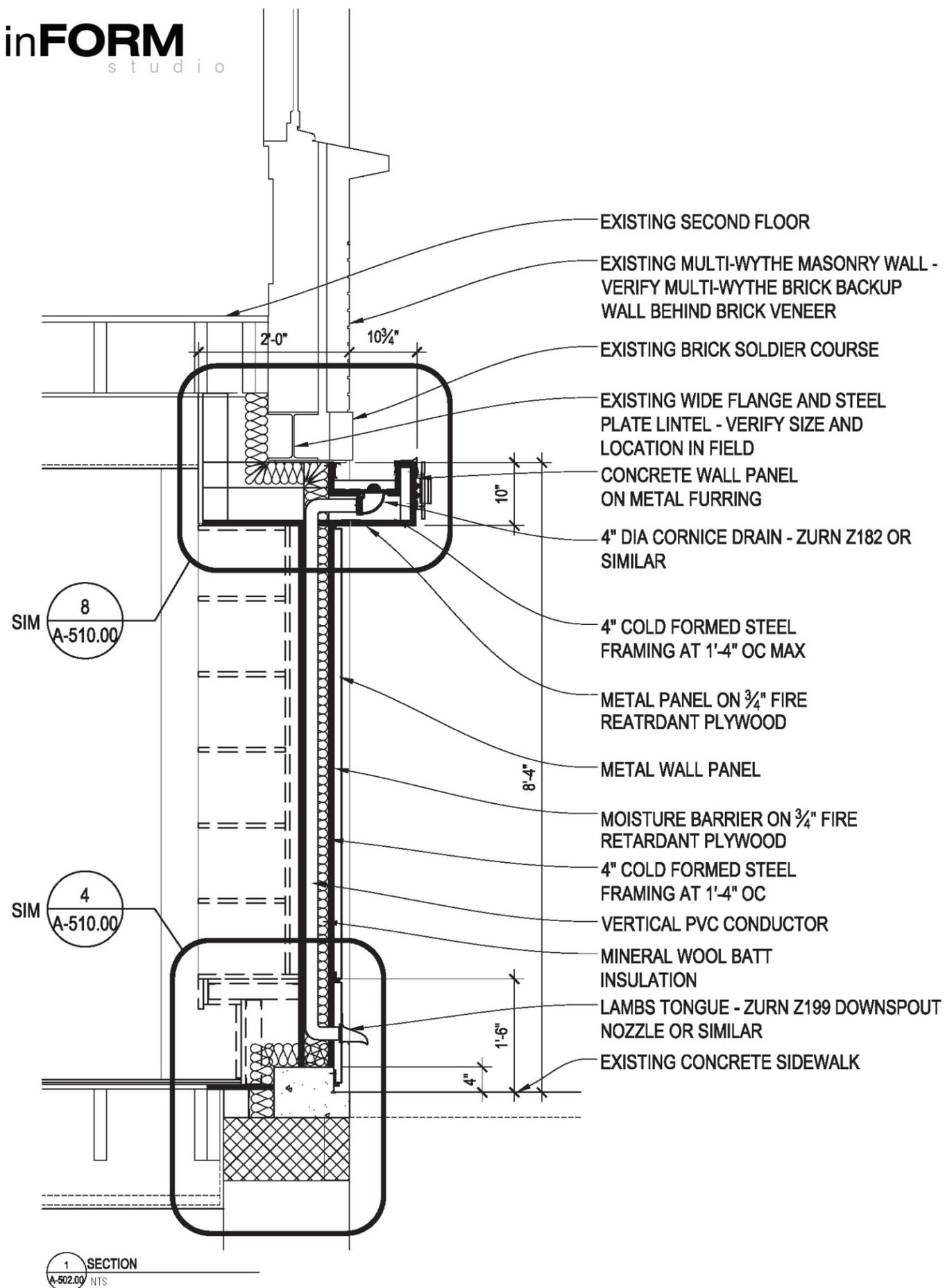
3 SECTION
A-502.00 NTS

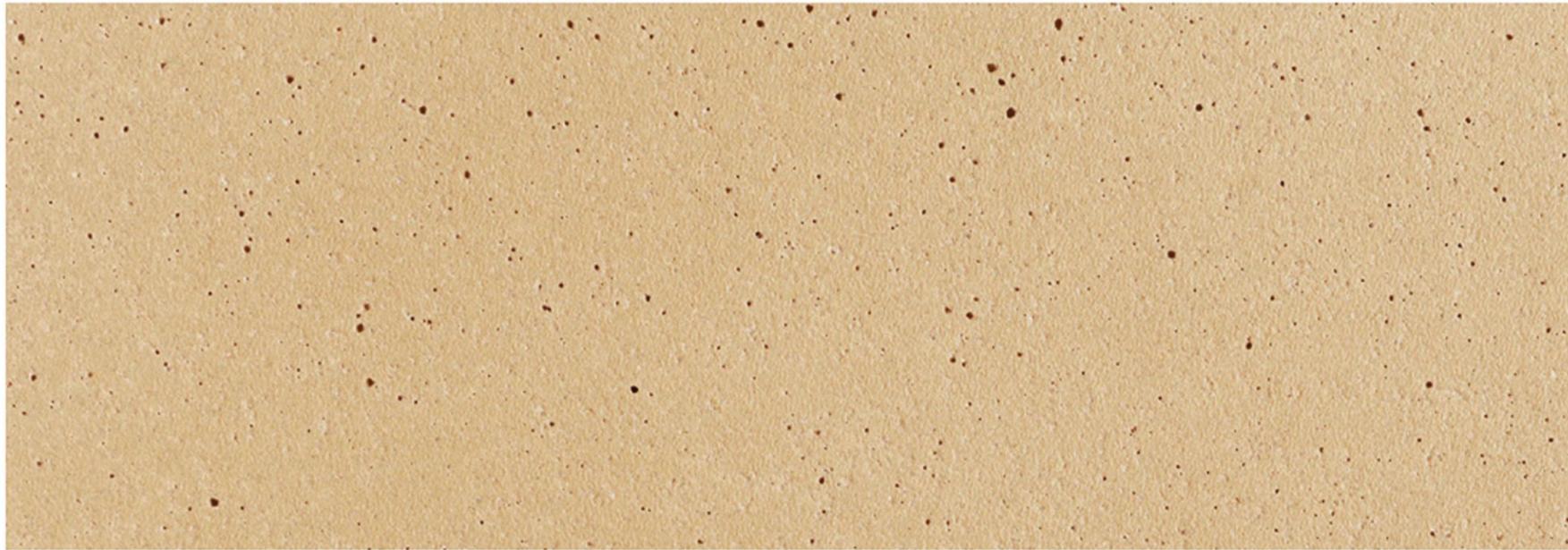


2 SECTION
A-502.00 NTS



1 SECTION
A-502.00 NTS





PROPOSED FIBER REINFORCED CONCRETE PANEL
RAIN SCREEN



EXISTING BRICK FACADE