

# EDELMAN RESIDENCE

249 W 138TH STREET, NEW YORK, NY 10030

## GENERAL NOTES:

- ALL WORK TO CONFORM TO THE NEW YORK CITY BUILDING CODE AND ALL APPLICABLE LAWS AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- ALL DOORS ARE TO BE NONCOMBUSTIBLE.
- ALL WOOD TO BE FIREPROOF AS PER SECTION C26-502.6, R55-3, 5-4 AND 5-5 OF THE BUILDING CODE L.L. 76.
- EXIT, DIRECTIONAL SIGNS AND RED LIGHTS WILL COMPLY WITH SECTION C26-607, L.L. 76.
- ALL CORRIDORS TO BE 3'-8" MINIMUM CLEAR AS PER SECTION C26-601.2 AND TABLE 6-1 OF THE BUILDING CODE.
- CONTROLLED INSPECTION REQUIRED FOR HVAC C26-130.2.
- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH A.I.A. GENERAL CONDITIONS OF THE BUILDING CODE L.L. 76.
- BEFORE SUBMITTING BIDS, CONTRACTORS SHALL VISIT THE SITE. THEY SHALL INVESTIGATE ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE ACCORDINGLY. NO PART OF THE WORK SHALL BEGIN BEFORE ALL CONDITIONS ARE CAREFULLY CHECKED AND ALL DISCREPANCIES REPORTED TO ARCHITECT IN WRITING.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY OF THE EXISTING STRUCTURE.
- CONTRACTOR IS TO FILE WORKMAN'S COMPENSATION, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS FROM ANY CITY DEPARTMENT, AND PAY ALL APPLICABLE FEES.
- NEW MATERIAL STUD PARTITIONS (STUDS TO BE 16" O.C. AND RUN THE UNDERSIDE OF FLOOR ABOVE) WITH 5/8" SHEET ROCK "FIRE CODE 60" BOTH SIDES, B.S. AND A. CAL #171-52 SM.
- REMOVE EXISTING PARTITIONS WHERE SHOWN ON PLANS, PATCH AND REPAIR FLOOR, WALLS, CEILINGS, ETC. AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR AS DIRECTED ON PLANS.
- CONTRACTOR TO DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK AS MAY BE REQUIRED TO COMPLETE THE JOB.
- PATCH AND REPAIR ALL EXISTING WORK, CEILINGS, MOLDINGS, WALLS, BASE, FLOORS, DUCTS, ELECTRICAL AND PLUMBING WHERE DAMAGED BY NEW WORK.
- REMOVED PIPING SHALL BE TO A POINT OF CONCEALMENT AND PROPERLY CAPPED OR PLUGGED.
- ALL DOORS MARKED F.P.S.C. TO HAVE B.S. AND A LABEL RATING AS INDICATED ON PLANS.
- ALL DIMENSIONS ARE FINISH TO FINISH, WALLS AND PARTITIONS, UNLESS OTHERWISE NOTED.
- INTENTIONALLY LEFT BLANK.
- EXIT LIGHTS AND SIGNS WILL BE PROVIDED AT ALL REQUIRED EXIT STAIRS AND PASSAGES WITH EMERGENCY LIGHTING AS REQUIRED.
- ALL FIRE PREVENTION APPLICATIONS WILL BE FILED IF REQUIRED FOR AN INSTALLATION.
- ALL DRAWINGS AND SPECIFICATIONS REFER TO EACH OTHER AND MUST BE REVIEWED TOGETHER.
- BID PRICE IS FOR COMPLETE JOB, ANY WORK NOT SPECIFICALLY NOTED BEING NECESSARY IS INCLUDED IN BASE BID.
- PROVIDE ACCESS DOORS TO WALLS AND CEILINGS WHERE REQUIRED FOR ACCESS TO VALVES, ELECTRIC, JUNCTION BOXES, VENTILATION DAMPERS AND CONTROLS OR AS REQUIRED BY LAW. ACCESS DOORS SHALL BE FLUSH MOUNTED, 1 HR. FIRE-RATED.
- PROVIDE 3 FIRE EXTINGUISHERS, LOCATION TO BE DETERMINED BY ARCHITECT.
- SPRINKLER PLANS TO BE FILED SEPARATELY.
- CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS, AND ARCHITECT IS TO MAKE THE FINAL DETERMINATION.
- SUBSTITUTION: CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND MATERIALS AS DESCRIBED BY THE DRAWINGS. IF SUBSTITUTIONS ARE NECESSARY THEY MUST BE SUBMITTED FOR REVIEW BY THE ARCHITECT AND THE CLIENT.
- SUBMITTALS: MATERIAL AND OR EQUIPMENT BROCHURES AND LITERATURE AS REQUIRED OR REQUESTED, AND PROJECT CONSTRUCTION SCHEDULE MUST BE SUBMITTED FOR REVIEW BY THE ARCHITECT AND THE CLIENT. SUBMIT THREE (3) SETS OF ALL MATERIALS AND FINISHES FOR REVIEW. FIELD MOCK UPS TO BE PREPARED AS REQUESTED BY THE ARCHITECT. NO FABRICATION TO BE DONE BEFORE REVIEW IS COMPLETED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS, AND PAY FOR ALL APPLICABLE FEES.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS, ITEMS, ACCESSORIES AND INCIDENTALS AS SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE AUTHORIZED BY THE ARCHITECT.
- ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERRABLE FROM THE DRAWINGS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE INCLUSION OF ANY WORK BY MENTION, NOTE, DETAIL, ITEMIZATION OR IMPLICATION, HOWEVER BRIEF, MEANS THAT THE CONTRACTOR SHALL FURNISH AND INSTALL SAME. ALL WORK PERFORMED SHALL INCLUDE ALL APPURTENANCES AND APPARATUS NORMALLY DEEMED TO BE A PART OF A COMPLETED PACKAGE WITHIN THE DEFINITIONS OF NORMAL INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES, CLOSURES, SHORING AND PROTECTION REQUIRED FOR THE SAFE COMPLETION OF THE WORK.
- THE TERM N.I.C. IS INTENDED TO MEAN "NOT IN CONTRACT".
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL OTHER CONTRACTS INCLUDING HVAC, ELECTRICAL AND PLUMBING AND ANY ITEMS THAT ARE N.I.C.
- CONTRACT DRAWINGS ARE PARTLY DIAGRAMMATIC. THEY ARE INTENDED TO SHOW THE SCOPE OF THE WORK, GENERAL SIZE AND ARRANGEMENT OF EQUIPMENT AND THEIR APPROXIMATE LOCATIONS. SOME CONNECTIONS AND ACCESSORIES HAVE BEEN OMITTED FOR CLARITY. THIS DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL CONNECTIONS AND ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY TO OPERATE AND ACCEPTABLE TO THE ARCHITECT.
- DO NOT CUT-AND-PATCH STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. NOTIFY ARCHITECT AND BUILDING SUPERINTENDENT 24 HOURS PRIOR TO ANY SUCH WORK.
- WHERE EXISTING WORK IS TO BE CUT, CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK, BRACING, WEDGING, AND SHORING. CONTRACTOR SHALL ASSUME FULL AND SOLE RESPONSIBILITY FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION.
- ALL ELECTRICAL AND PLUMBING WORK WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR LICENSED IN NEW YORK CITY.

## GENERAL CONDITIONS AND REQUIREMENTS

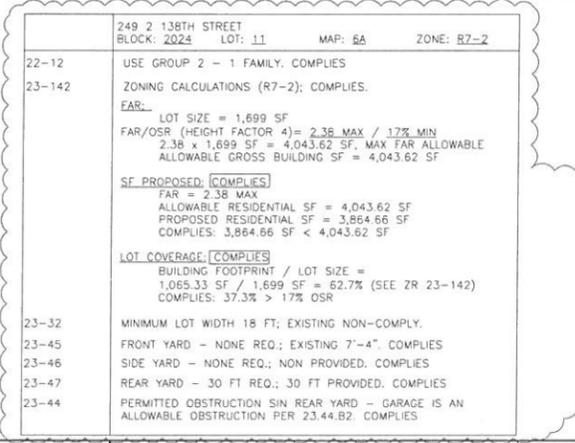
- PART I**
- 1.1 GENERAL**
- A. THE GENERAL CONDITIONS OF THE CONTRACT ARE PART OF THE GENERAL CONTRACT AGREEMENT.
- B. IN THE EVENT OF CONFLICT WITH THE GENERAL CONDITIONS, THE FOLLOWING "SPECIAL CONDITIONS" SHALL TAKE PRECEDENCE:
- 1.2 INTENT OF THE CONTRACT DOCUMENTS**
- A. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL OF THE WORK FOR THE CONTRACT SUM AND WITHIN THE CONTRACT TIME. THE DRAWINGS AND THE SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY, AND ALL WORK NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS AND NOT DESCRIBED IN THE SPECIFICATIONS AND ALL WORK DESCRIBED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS OR ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND BY THE SPECIFICATIONS, SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE EXECUTED BY THE CONTRACTOR IN THE SAME MANNER AND WITH THE SAME CHARACTER OF MATERIALS AS OTHER PORTIONS OF THE CONTRACT WITHOUT EXTRA COMPENSATION.
- B. UNLESS EXPRESSLY STIPULATED OTHERWISE, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL SERVICES, LABOR, OVERTIME CARDS, STANDBY LABOR, METHODS, MATERIALS, EQUIPMENT, TRANSPORTATION, AND ALL OTHER FACILITIES AND SERVICES, AND ALL OTHER ITEMS AND FACILITIES OF EVERY KIND NECESSARY TO COMPLETE THE INTENT OF THE CONTRACT, FOR THE CONTRACT SUM AND WITHIN THE CONTRACT TIME.
- 1.3 CONTRACTOR'S SUPERINTENDENT**
- A. THE CONTRACTOR SHALL PROVIDE THE SERVICE OF A COMPETENT FULL TIME CONSTRUCTION SUPERINTENDENT, ACCEPTABLE TO THE ARCHITECT AND THE OWNER, FROM THE COMMENCEMENT OF CONSTRUCTION TO FINAL COMPLETION AND ACCEPTANCE OF THE WORK. THE SUPERINTENDENT CAN BE A WORKING SUPERINTENDENT.
- 1.4 ASSUMPTION OF RISK**
- A. EXAMINATION OF CONTRACT DOCUMENTS: THE CONTRACTOR REPRESENTS THAT PRIOR TO SUBMITTING HIS/HER PROPOSAL FOR THE WORK, HE/SHE HAS CAREFULLY EXAMINED ALL OF THE CONTRACT DOCUMENTS, ACQUAINTED HIM/HERSELF WITH THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE WORK, AND MADE ALL INVESTIGATIONS, ESSENTIAL TO A FULL UNDERSTANDING OF THE DIFFICULTIES WHICH MAY BE ENCOUNTERED IN PERFORMING THE WORK. THE CONTRACTOR ASSUMES FULL AND COMPLETE RESPONSIBILITY FOR, AND ALL RISK CONNECTED WITH, THE WORK. THE CONTRACTOR SHALL MAKE HIS/HER OWN EVALUATION AND INVESTIGATION OF THE SITE CONDITIONS. ANY VARIANCE IN ACTUAL CONDITIONS WITH SUCH DATA AS MAY BE CONTAINED IN THE CONTRACT DOCUMENTS, OR THE RESULTS OF TEST FURNISHED TO THE CONTRACTOR FOR INFORMATION SHALL NOT BE THE BASIS FOR EXTRA COMPENSATION BY THE OWNER.
- B. GUARANTEE: IF WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT OR DESIGNATED PORTION THEREOF, OR WITHIN SUCH LONGER PERIOD OF TIME AS MAY BE DESCRIBED BY LAW OR THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS, ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL CORRECT IT PROMPTLY AFTER RECEIPT OF A WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR A WRITTEN ACCEPTANCE OF SUCH CONDITIONS. THIS OBLIGATION SHALL SURVIVE BOTH FINAL PAYMENT FOR THE WORK OR DESIGNATED PORTION THEREOF AND TERMINATION OF THE CONTRACT. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.
- 1.5 SURVEYS AND EXISTING CONDITIONS**
- A. THE EXISTING CONDITIONS SHOWN ON THE CONTRACT DOCUMENTS ARE BASED ON ORIGINAL DRAWINGS MADE AVAILABLE TO THE ARCHITECT, AND A SITE SURVEY BY THE ARCHITECT. ALL ACTUAL CONDITIONS MUST BE VERIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
- B. OMISSION OF REQUIRED WORK FROM THE BIDDER'S EXPLICIT PROPOSAL DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK SHOWN OR IMPLIED IN HIS/HER BASE BID. ALL WORK SHOWN OR IMPLIED ON THE DRAWINGS OR SPECIFICATIONS SHALL BE PART OF CONTRACT.
- 1.6 SPECIAL REQUIREMENTS**
- A. CONTRACTOR SHALL RESTORE ALL EXISTING INSTALLATIONS OUTSIDE THE WORK AREA DISTURBED, REMOVED, OR DAMAGED IN THE COURSE OF EXECUTING THE WORK.
- B. EXECUTE RESTORATION WORK SO AS TO MATCH EXISTING WORK IN EVERY ASPECT.
- C. UPON COMPLETION, LEAVE AFFECTED AREAS IN A CLEAN AND ACCEPTABLE MANNER TO THE SATISFACTION OF THE ARCHITECT.
- D. IF AND WHERE OVERTIME OR AFTER HOURS WORK IS REQUIRED, THERE SHALL BE NO ADDITIONAL COST TO THE OWNER.
- 1.7 STEEL NOTES**
- A. ALL WORK SHALL CONFORM TO THE NEW YORK STATE CODE AND LOCAL ORDINANCES.
- B. ALL STEEL SHALL CONFORM TO A.S.T.M. A-36.
- C. ALL STEEL WORK SHALL CONFORM TO THE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- D. ALL WELDING SHALL BE E-10 AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
- E. ALL CONCRETE SHALL BE 3,000 P.S.I. AT 28 DAYS WITH 5-3/4 BAGS OF CEMENT PER CUBIC YARD WITH 3-6X AIR ENTRAINMENT.

- F. REINFORCING SHALL CONFORM TO A.S.T.M. A-615 GRADE
- G. ALL GROUT SHALL BE NON-SHRINK GROUT.
- H. WELDED WIRE MESH SHALL CONFORM TO A.S.T.M. A-62.
- 1.8 OWNER'S USE OF FACILITIES**
- A. CONTRACTOR SHALL MAINTAIN SAFE ACCESS, HEAT, LIGHTING AND WATER FOR THE DURATION OF THE PROJECT AS NECESSARY TO PERMIT THE OWNER'S FULL USE OF THE FACILITY WITH MINIMAL INTERRUPTION OR DISTURBANCE TO NORMAL ACTIVITIES AND FUNCTIONS.
- 1.9 TEMPORARY UTILITIES**
- A. THE OWNER SHALL CONTINUE TO MAINTAIN EXISTING UTILITIES.
- PART II**
- 2.1 REQUIREMENTS**
- A. INSPECTION OF SITE: BEFORE PREPARING HIS/HER PROPOSAL, EACH BIDDER SHALL PERSONALLY INSPECT THE ENTIRE STRUCTURE, BOTH EXTERIOR AND INTERIOR, FROM THE CELLAR LEVEL TO THE TOPMOST LEVELS IN ORDER TO ARRIVE AT A CLEAR UNDERSTANDING OF THE CONDITIONS UNDER WHICH THE WORK BE PERFORMED. THE BIDDER SHALL BE RESPONSIBLE FOR HAVING SATISFIED HIM/HERSELF AS TO THE ACTUAL CONDITIONS OF THE WORK. FAILURE TO CARRY OUT THE INSPECTION WILL NOT BE ACCEPTED AS A REASON FOR SUBSEQUENT DELAYS IN THE WORK OR FOR ADJUSTMENTS IN THE CONTRACT PRICE. AN INSPECTION OF THE SITE MAY BE MADE AT ANY TIME; ARRANGEMENTS WILL BE NECESSARY.
- B. INTENT: THE FOLLOWING SPECIFICATIONS ARE TO BE CONSIDERED AS A GENERAL GUIDE AND OUTLINE FOR THE WORK INTENDED.
- C. THE SPECIFICATIONS SHALL BE CONSTRUED AS ENCOMPASSING THE PRACTICAL REQUIREMENTS AND INTENT OF THE CONTRACT AND NOT AS A LIMITATION OF WORK REQUIRED. THE BIDDER'S PROPOSAL SHALL LEAVE NOTHING MERELY IMPLIED, BUT SHALL BE EXPLICIT IN RECORDING THE WORK TO BE PERFORMED.
- D. OMISSION OF REQUIRED WORK FROM THE BIDDER'S EXPLICIT PROPOSAL DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK SHOWN OR IMPLIED IN HIS/HER BASE BID. ALL WORK SHOWN OR IMPLIED ON THE DRAWINGS OR SPECIFICATIONS SHALL BE PART OF CONTRACT.
- 2.2 GENERAL NOTES**
- A. ALL DEBRIS AND REFUSE SHALL BE REMOVED FROM BUILDING AT END OF EACH WORKING DAY AND SHALL BE PROPERLY DISPOSED OF.
- B. ALL AFFECTED AREAS SHALL BE KEPT CLEAN, DUST FREE, AND UNOBTURATED. MATERIALS AND EQUIPMENT SHALL NOT BE STORED IN CORRIDORS AND PASSAGES IN A WORKMANLIKE MANNER.
- C. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER, WITH MINIMAL INTERRUPTION OR DISTURBANCE TO NORMAL BUILDING ACTIVITIES AND FUNCTIONS.
- D. SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT ARCHITECT'S PRIOR WRITTEN AUTHORIZATION OR APPROVAL.
- E. CONTRACTOR SHALL SECURE AND KEEP IN FORCE FOR THE DURATION OF THE PROJECT ALL REQUIRED PROPERTY AND LIABILITY INSURANCE COVERAGE.
- F. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY TO THE EXISTING STRUCTURE AND ITS OCCUPANTS.
- PART III - PREPARATORY WORK**
- 3.1 SCOPE OF WORK**
- A. ALL WORK REQUIRING REMOVAL TO MAKE WAY FOR NEW WORK SHALL BE DEMOLISHED AND REMOVED FROM SITE.
- B. REMOVAL OF EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT WHERE SPECIFICALLY INDICATED ON THE DRAWINGS ALL SALVAGEABLE EQUIPMENT, AS NOTED ON THE DRAWINGS, SHALL BE CAREFULLY REMOVED AND STORED. INTERIOR SHALL BE LEFT MOPED CLEAN.
- 3.2 WORKMANSHIP**
- A. DEMOLITION WORK SHALL BE CAREFULLY PERFORMED TO PREVENT DAMAGE TO ADJACENT FINISHES OR CAUSE DISRUPTION TO ADJACENT OPERATIONS. AT COMPLETION OF A DAY'S WORK, ALL CONSTRUCTION BEING DEMOLISHED SHALL BE LEFT STABLE AND IN NO DANGER OF COLLAPSE. ALL DEBRIS SHALL BE REMOVED DAILY FROM THE SITE AND THE INTERIOR SHALL BE LEFT BROOM CLEAN.
- B. EXISTING CONSTRUCTION TO REMAIN: THE CONTRACTOR SHALL EXERCISE ALL PRECAUTIONS WHICH MAY BE NECESSARY TO PREVENT DAMAGE TO PORTIONS OF DEMOLITION WORK, IF THE EXISTING CONSTRUCTION TO REMAIN IS IN ANYWAY DISTURBED, WEAKENED, OR DAMAGED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR, AT NO EXTRA COST TO THE OWNER, WHETHER OR NOT DUE TO THE CONTRACTOR'S NEGLIGENCE.
- 3.3 CUTTING AND PATCHING**
- A. THE CONTRACTOR SHALL PERFORM ALL CUTTING, DRILLING, REMOVAL AND PATCHING OF EXISTING CONSTRUCTION, AS REQUIRED FOR THE PROPER INSTALLATION PERFORMANCE OF ALL NEW WORK REQUIRED BY THE CONTRACT. WORK SHALL BE PERFORMED AS DIRECTED BY THE ARCHITECT.
- B. PRECAUTIONARY MEASURES: THE EXISTENCE OR NONEXISTENCE OF ELECTRIC CONDUIT RUNNING IN THE CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING ANY CUTTING AND DRILLING OR DEMOLITION WORK.
- C. ALL GYPSUM BOARD LAMINATED TO EXISTING WALLS SHALL BE A SMOOTH AND EVEN SURFACE AND ALIGNED WITH EXISTING WALLS.
- 3.4 DEMOLITION AND REMOVAL**
- A. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED TO THAT INDICATED ON THE DRAWINGS, BUT SHALL ALSO INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE EXECUTION OF THE NEW WORK SHOWN ON THE DRAWINGS.
- B. THE CONTRACTOR SHALL THOROUGHLY INSPECT THE PREMISES IN ORDER TO VERIFY ACTUAL CONDITIONS AND THE FULL SCOPE OF WORK.
- C. ALL MAJOR ITEMS OF WORK ARE LISTED OR SPECIFIED. ITEMS NOT LISTED OR SPECIFIED, BUT IMPLIED OR NOTED ON OTHER DRAWINGS, ARE HEREBY INCLUDED IN THE SCOPE OF WORK.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING OF EXISTING WORK AS REQUIRED.
- E. CONTRACTOR SHALL PROTECT THE WORK SCHEDULED TO REMAIN, AND IF DAMAGED, RESTORE SAME TO ORIGINAL OR BETTER CONDITION.
- F. CONTRACTOR SHALL SEAL OFF ALL WORK AREAS FROM UNAFFECTED WORK AREAS. PROVIDE TEMPORARY PROTECTION TO EQUIPMENT AND ADJOINING AREAS IN USE.
- G. CONTRACTOR SHALL REMOVE ALL EXISTING ON-SITE AND NEW DEMOLITION MATERIALS, DEBRIS, FROM THE SITE ON A DAILY BASIS. ALL DEMOLITION AND DISPOSAL METHODS SHALL COMPLY WITH STATE AND LOCAL CODES AND REGULATIONS.
- H. CONTRACTOR SHALL PROTECT THE WORK SCHEDULED TO REMAIN, LEAVE PREMISES NEAT AND ORDERLY.

- I. CONTRACTOR SHALL PROPERLY REMOVE, RELOCATE, DISCONNECT, CAP ALL PIPING, CONDUIT, WIRING AND OTHER OBSTRUCTIONS UNCOVERED DURING DEMOLITION WORK.
- J. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ENCOUNTERED AFFECTING THE NEW WORK.
- K. APPROPRIATE PROTECTION WILL BE PROVIDED, SPECIFICALLY PROTECTION OF THE ADJACENT AREAS, I.E. ELEVATORS, LOBBY AND DELIVERY ROUTES. A TACK MAT WILL BE INSTALLED IN THE PROPOSED DUST VESTIBULE AND ALSO IN THE MAIN STAIR TO PREVENT THE SPREAD OF DUST VIA FOOT TRAFFIC.
- 3.5 PAINTING**
- A. PAINT ALL WALLS, CEILINGS, COLUMNS, DOORS, DOOR TRIM, FLOORS, BASEBOARD, CABINETS, SHELVING, MECHANICAL/ELECTRICAL EQUIPMENT, PIPING, AND ALL OTHER SURFACES NEW AND EXISTING INTENDED TO RECEIVE PAINT RELATING TO THE INTENT OF THE REQUIREMENT OF THE FINISH SCHEDULE OR AS OTHERWISE REQUIRED TO PROPERLY COMPLETE THE WORK. NO EXPOSED SURFACES SHALL BE LEFT UNPAINTED UNLESS FACTORY FINISHED OR OTHERWISE NOTED OR IMPLIED.
- B. CONTRACTOR SHALL NOT START PAINTING UNTIL ALL SURFACES ARE IN AN ACCEPTABLE AND PROPER CONDITION TO RECEIVE PAINT. STARTING OF WORK SHALL BE CONSTRUED AS CONTRACTOR'S ACCEPTANCE OF SURFACES, AND CONDITIONS WITHIN ANY PARTICULAR AREA.
- C. PROTECT ALL SURFACES OR ITEMS NOT SCHEDULED TO BE PAINTED.
- D. PAINT: BENJAMIN MOORE, NO SUBSTITUTIONS PERMITTED. E. PAINTING SCHEDULE: COLOR TO BE SELECTED BY OWNER, INCLUDING BUT NOT NECESSARILY EXCLUSIVELY GYPSUM BOARD, PLASTER WALLS, DOORS, A/C UNITS, BRACING AND UNPAINTED SIDES AND EQUIPMENT ENCLOSURES:
- (1) PRIMER COAT (NEW SURFACES)
  - (2) FINISH COATS, SEE FINISH SCHEDULE A-004.
- F. ALL DOORS AND TRIM WITHIN AREA OF WORK TO BE PAINTED BOTH SIDES, UNLESS SPECIFIED OTHERWISE IN WRITING.
- G. CLEAN ALL PAINT OFF WINDOWS AND TRIM (NEW AND EXISTING PAINT).
- 3.6 GYPSUM BOARD**
- A. ALL WALLS WHERE WORK IS BEING DONE, INCLUDING PAINTING SHALL BE PATCHED AS REQUIRED. ALL FINISHED WORK SHALL REMAIN FINISH, TRUE RIGID, SECURE AND ALL FINISHED SURFACES SMOOTH, EVEN AND WELL-MATCHED.
- B. DRYWALL CONSTRUCTION DETAILS ARE BASED ON U.S. GYPSUM PRODUCTS AND ASSEMBLIES, PRODUCTS AND ASSEMBLIES OF NATIONAL GYPSUM OR GEORGIA-PACIFIC SET BY THESE DETAILS ARE ACCEPTABLE.
- 3.7 CARPENTRY AND DRYWALL**
- A. FURNISH AND INSTALL ALL MISCELLANEOUS WOOD BLOCKING, ANCHOR AND REINFORCING PLATES TRIM, ETC. AS REQUIRED FOR A PROPER AND COMPLETE INSTALLATION.
- B. ERECT NEW DRYWALL PARTITIONS AS SPECIFIED ON DRAWINGS. COORDINATE STUD SPACING ANCHOR PLATES, ETC. WITH MECHANICAL AND ELECTRICAL TRADES FOR PROPER PLACEMENT AND REQUIRED CLEARANCE.
- C. ALL EXISTING TRACES SCHEDULED TO REMAIN SHALL BE PATCHED SMOOTH AND TRUE.
- D. PROVIDE CORNER AND CASING BEADS AS REQUIRED.
- E. FINISHED WALL SURFACES SHALL BE TRUE, SMOOTH, FREE OF BLEMISHES, IRREGULARITIES OR INDENTATIONS.
- F. INSTALLATION OF SPECIALTIES ITEMS AS APPLICABLE.
- 3.8 PROJECT RECORD DOCUMENTS**
- A. CONTRACTOR SHALL MAINTAIN AT THE JOB SITE ONE COPY OF CONTRACT DRAWINGS, SPECIFICATIONS, ADDENDA, APPROVED SHOP DRAWINGS, CHANGE ORDERS, FIELD TEST RECORDS, CORRESPONDENCE, AND ALL PROJECT RECORDS.
- 3.9 MAINTENANCE AND OPERATING INSTRUCTION MANUALS**
- A. THE CONTRACTOR SHALL PROVIDE 3 MAINTENANCE AND OPERATING INSTRUCTION MANUALS, ORGANIZED BY SECTION, DIVISION AND SPECIFICATION, INCLUDING 1 COPY OF EACH OF THE FOLLOWING INFORMATION FOR ALL MANUFACTURED EQUIPMENT IN ITS CONTRACT: SPECIFICATION SECTION NUMBER AND NAME, MATERIAL OR EQUIPMENT ITEM, MANUFACTURER'S LITERATURE INCLUDING MODEL, TYPE, STYLE, BRAND NAME, ETC., SUPPLIER, DEALER, DISTRIBUTOR AND FABRICATOR, INSTALLER, MAINTENANCE INFORMATION, OPERATION INFORMATION (INCLUDING PARTS LISTS, WIRING AND PIPING DIAGRAMS), COPY OF WARRANTY OR GUARANTEE, SHOP DRAWINGS, ETC.
- B. CONTRACTOR SHALL TURN OVER SAID MAINTENANCE AND OPERATING INSTRUCTION MANUALS AT THE COMPLETION OF JOB, PRIOR TO FINAL PAYMENT.
- 4.0 NYC APPROVED SMOKE/CARBON MONOXIDE DETECTORS**
- A. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD-WIRED NYC APPROVED, TO COMPLY WITH ALL NYC LOCAL LAWS. TO BE WITHIN 15' OF BEDROOMS.

## SPECIAL & PROGRESS INSPECTIONS

- GENERAL**
1. FIRESTOPPING, DRAFTSTOP, AND FIREBLOCK SYSTEM BC1704.25
- MECHANICAL**
1. MECHANICAL SYSTEM BC1704.15
- SI STRUCTURAL INSPECTIONS**
- SI.1 ALL PROGRESS INSPECTIONS SHALL CONFORM TO CHAPTER 1 OF THE NEW YORK CITY BUILDING CODE. ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE NEW YORK CITY BUILDING CODE.
- SI.2 THE FOLLOWING PROGRESS INSPECTIONS ARE REQUIRED:
- FOOTING AND FOUNDATION
  - FRAME
- SI.3 THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED:
- STRUCTURAL STEEL-WELDING (BC1704.3.1)
  - STRUCTURAL STEEL-ERECTION AND BOLTING (BC1704.3.3)
  - STRUCTURAL COLD-FORMED STEEL (BC 1704.3.4)
  - CONCRETE - CAST IN PLACE (BC 1704.4.4)
  - STRUCTURAL SAFETY - STRUCTURAL STABILITY (1704.19)
  - ALTERNATE MATERIALS DTCR BUILDINGS BULLETIN 2012-007 (BC 1704.13)



## H-15 ZONING ANALYSIS

249 W 138TH ST, NY NY 10030



## STAIR NOTES:

- ALL STAIR RISERS, TREAD & BALUSTERS ARE TO MATCH EXIST.
- PROVIDE NEW STAIR MOULDING ALL ALONG THE STAIR TO MATCH EXISTING.
- PROVIDE HANDRAIL & NEWELS AS NEEDED.
- STAIR FROM GARDEN LEVEL TO PARLOR FLOOR IS TO SUPPLIED AND BUILT BY CONTRACTOR.
- STAIR FROM CELLAR TO GARDEN LEVEL IS EXISTING TO REMAIN.

## SUBMITTALS:

- CONTRACTOR IS TO SUBMIT THE FOLLOWING ITEMS TO ARCHITECT & OWNER FOR REVIEW AND APPROVAL:
- TILE/MARBLE/STONE
  - ALL MOULDING & TRIM
  - DOORS
  - HARDWARE
  - WINDOWS

## SHOP DRAWINGS /SUBMITTALS

- SHOP DRAWINGS ARE REQUIRED FOR: MOULDINGS, STAIR MOULDING, CABINETRY AND ALL MILLWORK, MECH. SYSTEM AND ANYTHING ELSE CALLED FOR IN THE SPECIFICATIONS.
- SUBMITTALS ARE REQUIRED FOR ALL SPECIFIED PRODUCTS: LIGHT FIXTURES, SWITCHES, DOORS, HARDWARE, A/C GRILLES, FLOORING, PLUMBING FIXTURES, AND ANY OTHER ITEMS LISTED IN THE SPECIFICATIONS.

## ALTERNATES:

- CONTRACTOR SHALL PROVIDE INDIVIDUAL ALTERNATE PRICES FOR FOLLOWING ITEMS:
- PROVIDE AN ALTERNATE PRICE TO STAIN ALL EXISTING DOORS TO REMAIN ON PARLOR AND GARDEN LEVEL. COLOR T.B.D BY OWNER/ARCHITECT. INCLUDE STRIPPING AND FINISHING.
  - PROVIDE AN ALTERNATE PRICE FOR REPAIRING THE STONE AT FRONT AND GARDEN LEVEL STONE STEPS.
  - PROVIDE AN ALTERNATE PRICE FOR RADIANT HEAT AT UNDERSIDE OF FRONT STAIR.
  - PROVIDE AN ALTERNATE PRICE TO WATERPROOF AND SEAL THE EXISTING FLOOR SHUTTER IN FRONT YARD.
  - PROVIDE AN ALTERNATE PRICE FOR 5 LEVEL GRADE SKIM COATING ON ALL WALLS.

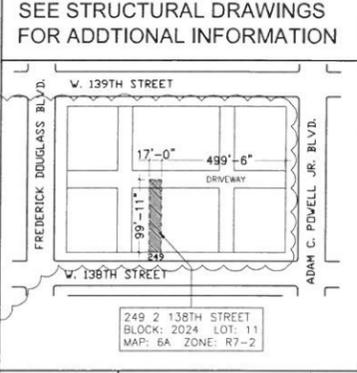
## A-15 ZONING DIAGRAM

249 W 138TH ST, NY NY 10030

## DRAWING LIST:

- T-000 TITLE SHEET / ZONING
- EN-001 ENERGY ANALYSIS
- A-001 PLUMBING RISER / WALL TYPES & ADA REQUIREMENTS.
- DM-100 DEMOLITION PLAN
- A-100 CONSTRUCTION PLAN
- A-200 BUILDING ELEV. & SECTION
- LPC-1 HISTORIC MAPS & PHOTOS
- S100 EXIST & PROPOSED BSMT FL PLAN
- S101 EXIST & PROPOSED 1ST FL PLAN
- S102 EXIST & PROPOSED 2ND FL PLAN
- S200 STRUCTURAL SECTION 1
- S201 STRUCTURAL SECTION 2
- S300 STRUCTURAL NOTES 1
- S301 STRUCTURAL NOTES 2
- S400 MARINOWAVE DETAILS

## SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION



## H-20 PLOT PLAN

249 W 138TH ST, NY NY 10030



**dbpA**  
DESIGN BY PRODUCT ARCHITECTS  
37 EAST 18TH STREET  
NEW YORK, NY 10003

## PROJECT TOWNHOUSE EXTENSION

249 W 138TH STREET  
NEW YORK 10030

## TITLE PAGE

DATE: 18 SEPT 2013  
PROJECT No: 2014  
DRAWING BY: JL  
CHK BY: DB  
DWG No: T-000.00  
CAD FILE No: 249 W 138 DOB PLANS  
1 of 7

## A-15 ZONING DIAGRAM

249 W 138TH ST, NY NY 10030

N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A

### REScheck Software Version 4.4.1 Compliance Certificate

**Project Title:** EDELMAN RESIDENCE  
**Energy Code:** 2010 New York Energy Conservation Construction Code  
**Construction Code:** New York County, New York  
**Detached 1 or 2 Family:** 15%  
**Heating Degree Days:** 4919  
**Climate Zone:** 4  
**Construction Site:** 249 W 138TH ST (R2B) NEW YORK, NY 10030  
**Owner/Agent:** WAYNE EDELMAN 214 W 138TH ST (R2B) NEW YORK, NY 10030 646-368-3148 wayne@edelmanresidence.com  
**Designer/Contractor:**

**Compliance Pathway using UA trade-off**

Compliance: 20.6% Better Than Code. Mission: 10/1/12. Year: 10/1/12.

Assembly	Gross Area of Partitions	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling, R-15.0	144	0.0	15.0		7
Wall 1: Steel Frame, 16" cav.	168	0.0	15.0		2
Window: Metal Frame Double Pane with Low-E	51			0.250	13
Door 1: Steel	24			0.250	6
Wall 2: Steel Frame, 16" cav.	360	0.0	15.0		22

**Compliance Statement:** The proposed building design described here is consistent with the building code, specifications, and other conditions submitted with the permit application. The proposed building has been designed to meet the 2010 New York Energy Conservation Construction Code, as amended by Technical Code 4.4.1 used to comply with any supplementary requirements listed in the Building Code book.

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Title: \_\_\_\_\_

- Additional requirements for fire labeling and theft deterrent marking are provided by an inspection for compliance with the International Mechanical Code.
- Temperature Controls:**
  - Thermostat control for each space is provided. A manual or automatic device is provided to shut off the heating and cooling input to each zone or zone is provided.
- Circulating Service Hot Water Systems:**
  - Circulating service hot water systems are provided in accordance with R-2.
  - Circulating service hot water systems include an automatic air vent and a manual shut-off for the circulation pump when the system is not in use.
- Certificate:**
  - A permanent certificate is provided on or in the electrical distribution panel listing the pre-treatment insulation R-values; window U-factors; heating and cooling equipment space heating and cooling equipment.

**NOTES TO FIELD:** (Building Department Use Only)

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### REScheck Software Version 4.4.1 Inspection Checklist

- Ceilings:**
- Ceiling 1: Flat Ceiling, R-15.0 continuous insulation
  - Comments: \_\_\_\_\_
- Above-Grade Walls:**
- Wall 1: Steel Frame, 16" cav., R-15.0 continuous insulation
  - Comments: \_\_\_\_\_
  - Wall 2: Steel Frame, 16" cav., R-15.0 continuous insulation
  - Comments: \_\_\_\_\_
- Windows:**
- Window: Metal Frame Double Pane with Low-E, U-factor: 0.250
  - The windows are installed in accordance with the code.
  - U-factor: \_\_\_\_\_ Frame Type: \_\_\_\_\_ Thermal Break? Yes No
  - Comments: \_\_\_\_\_
- Doors:**
- Door 1: Steel, U-factor: 0.250
  - Comments: \_\_\_\_\_
- Air Leakage:**
- Leaks, penetrations, and other air leakage in the building envelope have been sealed to the extent of air leakage allowed.
  - Approved fasteners shall be Type 304 stainless steel or galvanized steel with a minimum thickness of 1/8" (Type 304) and ASTM F202 stainless steel installed with an air tight assembly with a 3/4" clearance from the building envelope and a 3" clearance from the window.
- Basements:**
- Subrooms that are thermally isolated from the building envelope have a maximum transmission U-factor of 0.15 and the maximum single U-factor of 0.15. New windows and doors separating the subroom from conditioned space meet the building thermal envelope requirements.
- Materials Identification and Installation:**
- Materials and equipment are installed in accordance with the manufacturer's installation instructions.
  - Insulation is installed in accordance with the manufacturer's installation instructions.
  - Materials and equipment are identified to the inspector on the permit.
  - Manufacture materials for all installed heating and cooling equipment and service water heating equipment have been provided.
  - Insulation R-values and U-factors are clearly marked on the building plans or specifications.
- Duct Insulation:**
- Ducts in unconditioned spaces or outside the building are insulated for at least R-3.
  - Ducts in floor trusses, above unconditioned space or above the outdoors are insulated to meet the code.
- Duct Construction:**
- All headers, tee boxes, and duct connections to branches or air distribution system equipment or steel need hangers are sealed and mechanically fastened.
  - All joints, seams, and connections are made and sealed with tapes, gaskets, mastic, polyurethane or other approved means.
  - Tapes and mastic are used in accordance with the code.
  - Building framing conditions are not used as a gully drain.
  - Automatic or gravity controls are installed on all radiators, radiators, and convectors.

### 2010 New York Energy Conservation Construction Code Certificate

Insulation Rating	R-Value	
Ceiling / Roof	15.00	
Wall	15.00	
Floor / Foundation	0.00	
Ductwork (unconditioned spaces):		
Glass & Door Rating	U-Factor	SHGC
Window	0.25	0.20
Door	0.25	0.20
Heating & Cooling Equipment	Efficiency	
Heating System:		
Cooling System:		
Water Heater:		
Name:	Date:	
Comments:		

Name: \_\_\_\_\_ Date: \_\_\_\_\_

### NEY YORK CITY ENERGY CONSERVATION CONSTRUCTION CODE 2010 (CLIMATE ZONE 4A)

SCOPE OF WORK: REMOVAL OF EXISTING MASONRY WALL AT REAR ALCOVE, CONSTRUCT NEW MASONRY VENER EXTENSION, RENOVATE THE EXISTING FIRST FL LEVEL, BASEMENT LEVEL, AND GARAGE FOR THE ABOVE. NO WORK TO EXISTING FRONT FACADE AND UPPER LEVELS. (CLIMATE ZONE 10B ASHRAE 90.1)

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY."

NYCECC 2010: PER AUTHORIZATION OF NYC LPC, THE BUILDING(S) ON THIS PROPERTY ARE CONTRIBUTING ELEMENTS TO THE HISTORIC LANDMARKED DISTRICT OF STRIVERS ROW. THEREFOR THIS WORK IS PRECLUDED FROM ANY REQUIREMENTS TO COMPLY WITH THE ENERGY ANALYSIS OF NYC DOB.

- CONTRACTORS MUST REVIEW AND REFER TO SPECIFICATIONS FOR ALL WORK.
- ALL DIMENSIONS TO BE VERIFIED BY FIELD MEASUREMENT ARCHITECT, IN WRITING, IF ANY DISCREPANCIES BEFORE ANY WORK BEGINS.
- ALL COMMUNICATION SHALL BE IN WRITING.

ISSUED TO DOB: 09-16-2014  
 REVISIONS / SUBMISSIONS: DATE: \_\_\_\_\_

**dbpA**  
 DESIGN BY PRODUCT ARCHITECTS

37 EAST 18TH STREET  
 NEW YORK, NY 10003

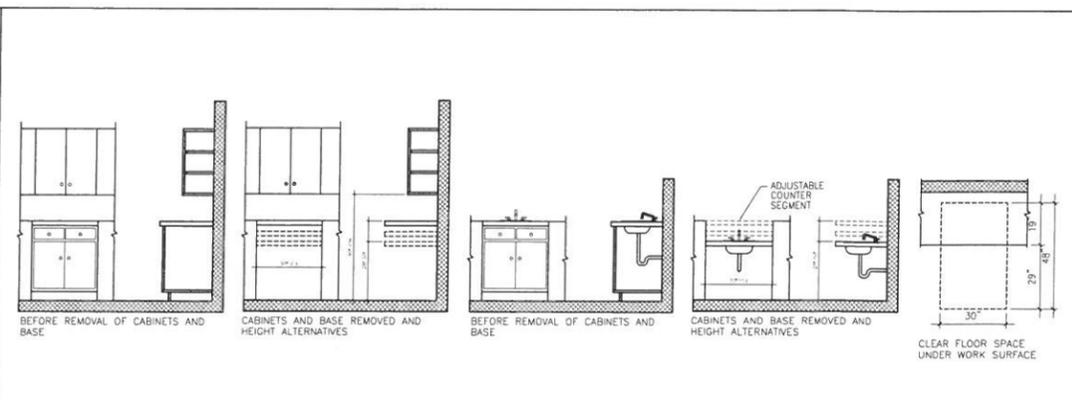
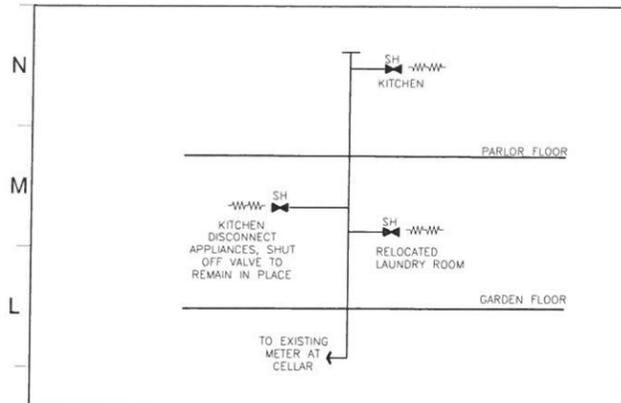
SCALE: AS NOTED  
 TOTAL SQ. FT.: AS NOTED

PROJECT: TOWNHOUSE EXTENSION  
 249 W 138TH STREET  
 NEW YORK 10030

### ENERGY ANALYSIS

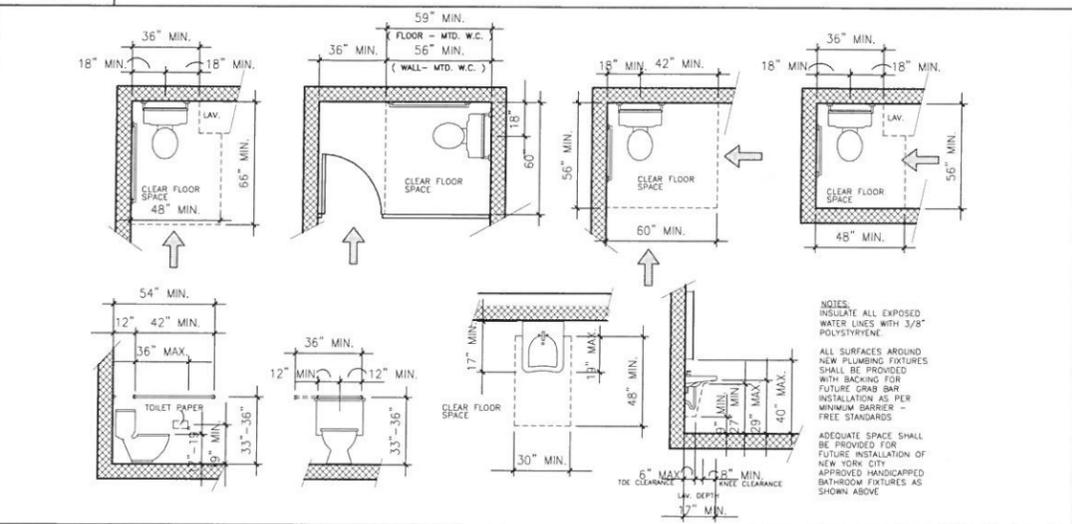
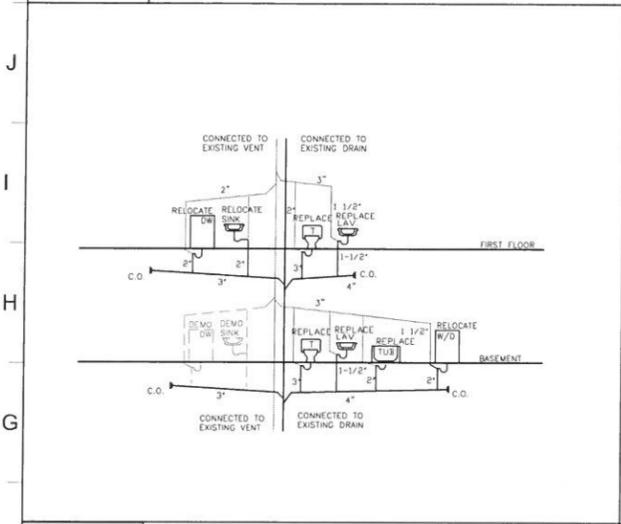
SEAL & SIGNATURE

DATE: 18 SEPT 2013  
 PROJECT No: 2014  
 DRAWING BY: JL  
 CHK BY: DB  
 DWG No: EN-001.00  
 CAD FILE No: 249 W 138 DOB PLANS  
 2 of 6



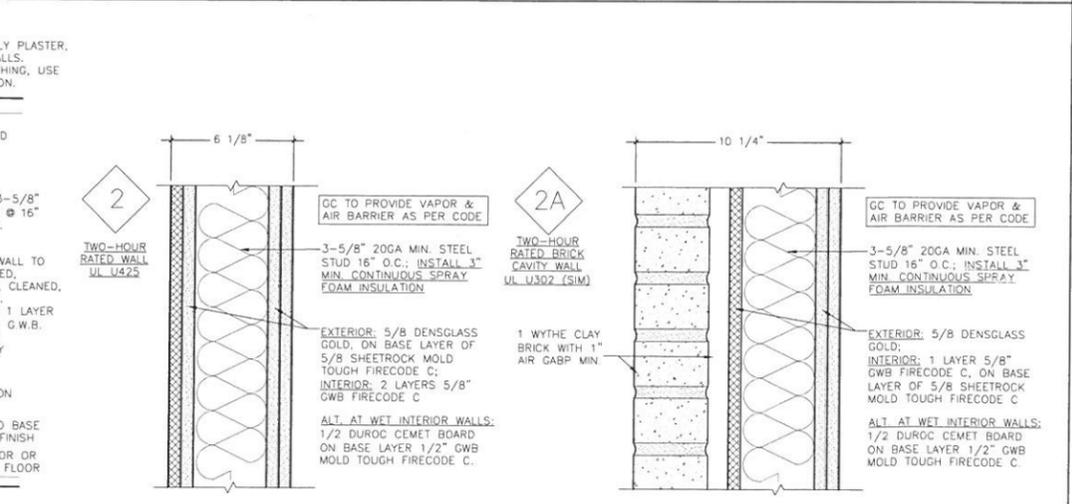
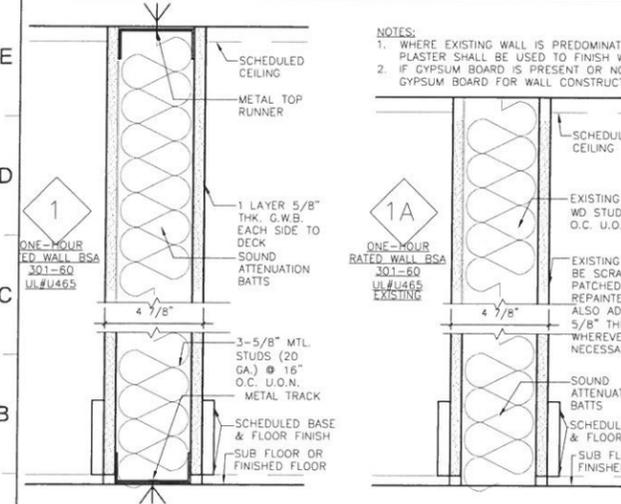
**K-6 GAS RISER DIAGRAM**  
N.T.S.

**K-11 ADA REQUIREMENT - KITCHEN (LL58/57)**  
N.T.S.



**F-1 PLUMBING RISER DIAGRAM**  
N.T.S.

**F-11 ADA REQUIREMENT - BATHROOMS (LL58/57)**  
N.T.S.



**A-1 PARTITION TYPES**  
3"=1'-0"

**A-15 ADA REQUIREMENT - DOORS**  
3"=1'-0"

ABBREVIATIONS		
at	INCAND	incandescent
air conditioning	INCL	include(d) (ing)
acoustical ceiling tile	INSUL	insulation
area drain	J.C.	janitor's closet
Americans w/ Disabilities Act - Accessibility Guidelines	LAM	laminated
alternate	LAV	lavatory
above finished floor	L.H.	left hand
attenuate	LT	light
aluminum	MANUF.	manufacturer
anodized	MAS.	masonry
board	MAX.	maximum
building	MECH.	mechanical
blocking	MFR.	manufacturer
beam	MIN.	minimum
bottom of beam	MISC.	miscellaneous
bottom of slab	MTD.	moulding
bottom	MTL.	metal
centerline	N	north
ceiling height	N.I.C.	not in contract
channel	N.T.S.	not to scale
control joint	O/	over
closet	O.C.	on center
ceiling	O.D.	outside diameter
clear	O.F.C.L.	over finished floor installed
concrete masonry unit	OPEN	opening
column	PART	partial
concrete	PARTN	partition
connect	PERIM.	perimeter
construction	P	plastic laminate
continuous	PLAS.	plaster
contractor; contract	PLTFM.	platform
carpet(ed)	PLYWD.	plywood
ceramic tile	PNT.	point(ed)
cold water	PR	pair
cond	DEM.	demolition
control joint	D.F.	drinking fountain
concrete	DIA.	diameter
concrete masonry unit	DIM.	dimension
column	DN.	down
concrete	DTL.	detail(s)
connect	DWG.	drawing
construction	(E), EXIST	existing
continuous	E	east
contractor; contract	EA.	each
carpet(ed)	EL.	elevation
ceramic tile	ELEC.	electric(al)
cold water	EQ.	equal
cond	EXH.	exhaust
control joint	EXP.	exposed
concrete	EXT.	exterior
connect	F.A.	fire alarm
construction	F.D.	floor drain; fire
continuous	F.E.	fire extinguisher
contractor; contract	FIN.	factory finish, finish
carpet(ed)	FLR.	floor
ceramic tile	F.P.S.C.	fireproof self-closing
cold water	FT	feet
cond	GA.	gauge
control joint	GALV.	galvanized
concrete	G.C.	general contractor
connect	GL.	glass, glazing
construction	G.W.B.	gypsum wallboard
continuous	H	high
contractor; contract	H.M.	hollow metal
carpet(ed)	HORIZ.	horizontal
ceramic tile	H.P.	hour, handrail
cold water	HR.	height
cond	HT.	height
control joint	HVAC	heating, ventilating, & air conditioning
concrete	H.W.	hot water
connect		
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carpet(ed)		
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cold water		
cond</		



SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

**LEGEND**

- DEMOLITION
- EXISTING WALLS
- NEW WALLS
- NO WORK IN AREA INDICATED

1. CONTRACTORS MUST REVIEW AND REFER TO SPECIFICATIONS FOR ALL WORK.  
 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE ANY WORK BEGINS.  
 3. ALL COMMUNICATION SHALL BE IN WRITING.

REVISED	07-16-2014
ISSUED TO DOB	06-16-2014
REVISIONS / SUBMISSIONS	DATE

**dbpA**  
 DESIGNBYPRODUCT ARCHITECTS  
 37 EAST 18TH STREET  
 NEW YORK NY 10003

SCALE: AS NOTED  
 TOTAL SQ. FT. AS NOTED

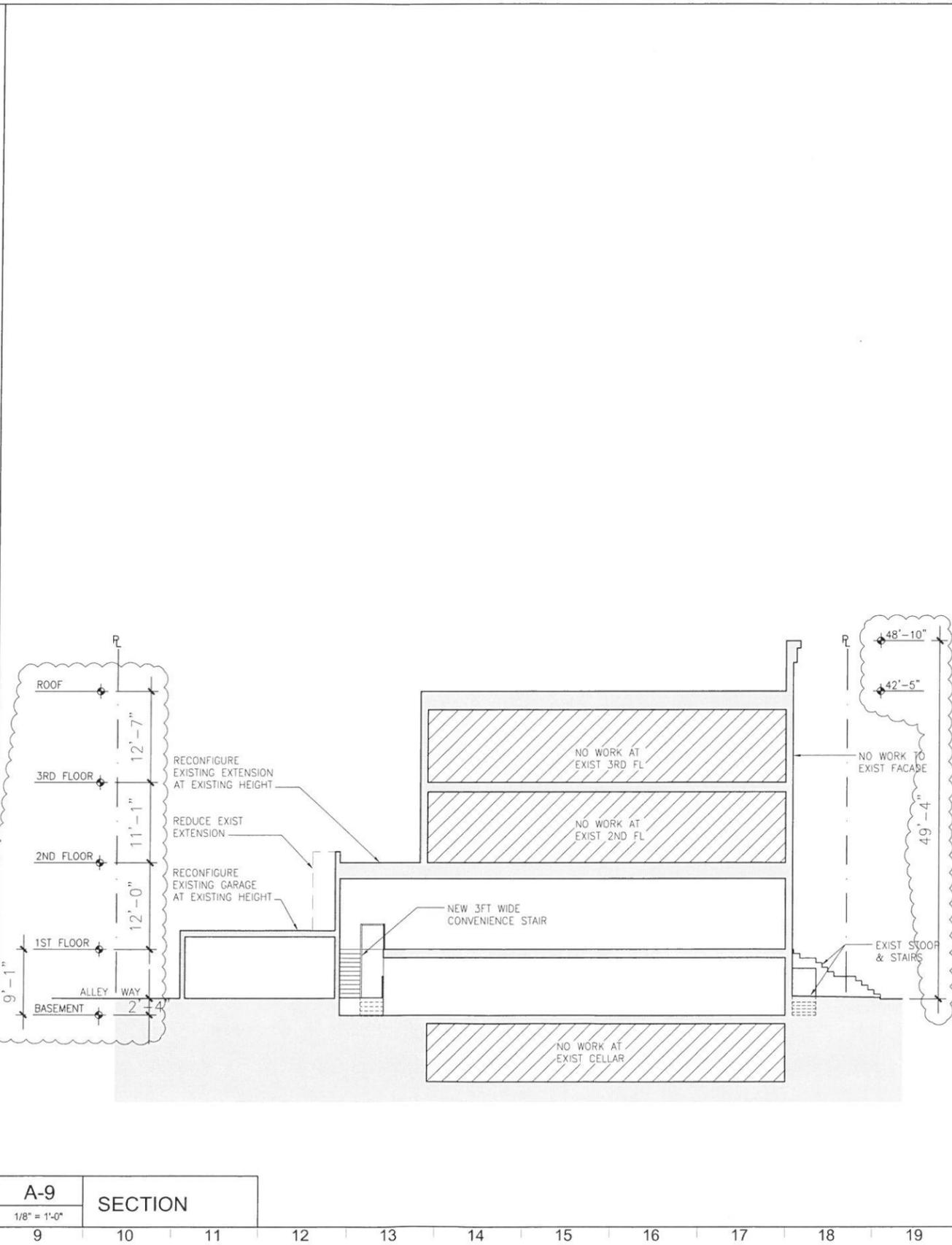
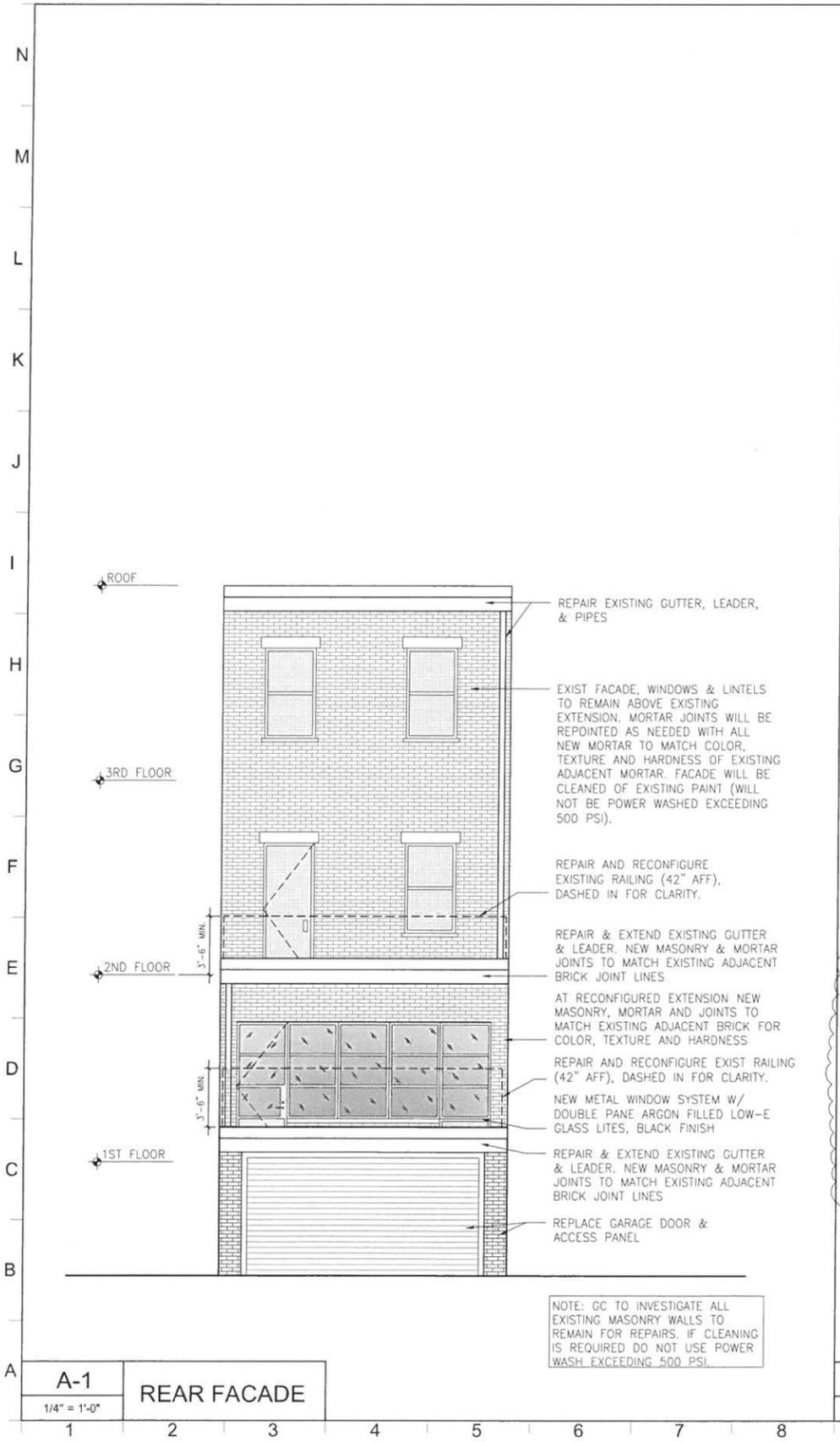
PROJECT: **TOWNHOUSE EXTENSION**  
 249 W 138TH STREET  
 NEW YORK 10030

**DEMOLITION PLANS**

SEAL & SIGNATURE

DATE: 16 SEPT 2013  
 PROJECT No: 2014  
 DRAWING BY: JL  
 CHK BY: DB  
 DWG No: **D-100.00**  
 CAD FILE No: 249 W 138 DOB PLANS 4 of 7





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ISSUED TO DOB	05-16-2014
REVISIONS / SUBMISSIONS	DATE

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SCALE: AS NOTED  
 TOTAL SQ. FT. AS NOTED

PROJECT  
**TOWNHOUSE EXTENSION**  
 249 W 138TH STREET  
 NEW YORK 10030

SECTION & ELEVATION

SEAL & SIGNATURE

DATE: 18 SEPT 2013  
 PROJECT No: 2014  
 DRAWING BY: JL  
 CHK BY: DB  
 DWG No: **A-200.00**  
 CAD FILE No: 249 W 138 DOB PLANS 6 of 7

**A-1**  
 1/4" = 1'-0"  
 REAR FACADE

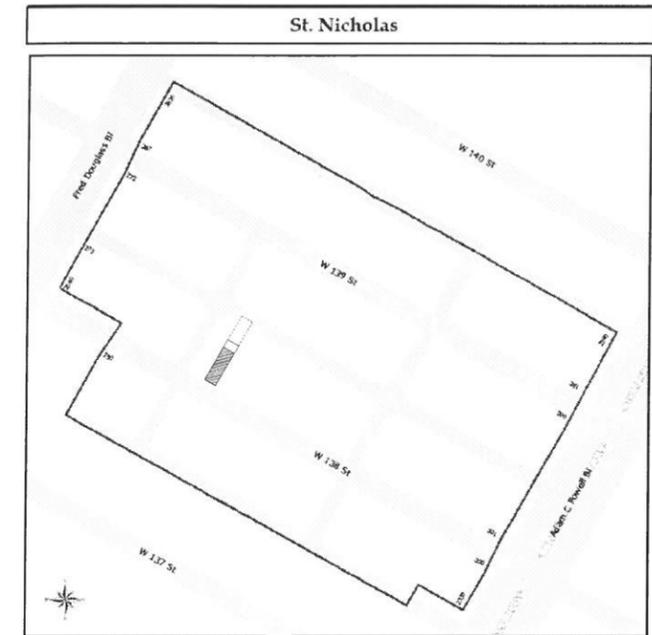
**A-9**  
 1/8" = 1'-0"  
 SECTION

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**SCOPE OF WORK:**  
 NON-VISIBLE WORK TO INSTALL NEW RADIANT HEAT AT UNDERSIDE OF FRONT STOOP.  
 NON-VISIBLE RECONFIGURATION OF EXISTING 1 STORY BRICK EXTENSION AT REAR YARD MEETS OR EXCEEDS CURRENT NYC BUILDING & ZONING CODES. IN ADDITION THE FOLLOWING ITEMS AT THE REAR FACADE ARE NOTED ON DRAWINGS TO BE REPAIR/RESTORED: EXISTING GUTTERS, LEADERS, DECK, RAILINGS, AND THE EXISTING PAINT ON THE REMAINING PORTION OF REAR FACADE WILL BE REMOVED IN ORDER TO RESTORE THE EXISTING BRICK COLOR. ALL WORK WILL BE IN CONFORMANCE WITH LPC RECOMMENDED TECHNIQUES FOR RESTORATION WORK AS FOLLOWS: CLEANING OF EXISTING MASONRY WILL NOT EXCEED 500 PSI IF POWER WASHED. NEW MASONRY AND MORTAR WILL MATCH EXISTING ADJACENT MASONRY & MORTAR FOR COLOR, TEXTURE AND HARDNESS. MORTAR JOINT LINES EXISTING ADJACENT JOINT LINES.



139TH ST WEST GATE

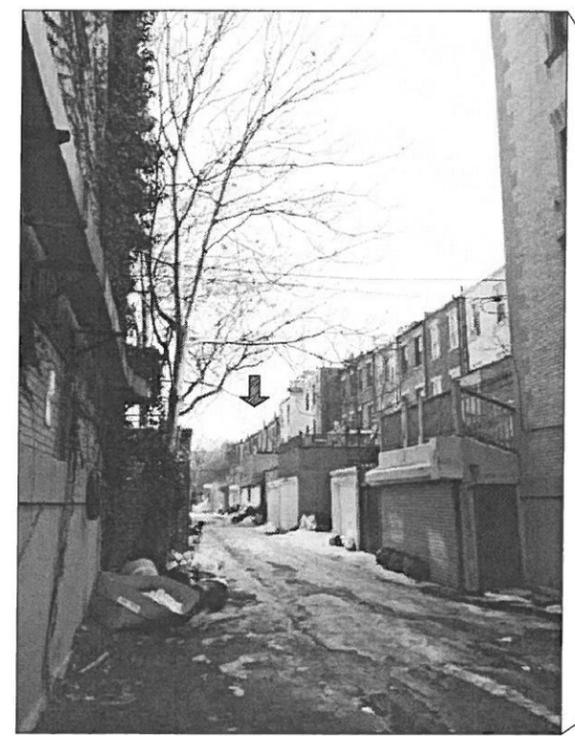


St. Nicholas  
 Historic District  
 Manhattan  
 Designated March 16, 1967

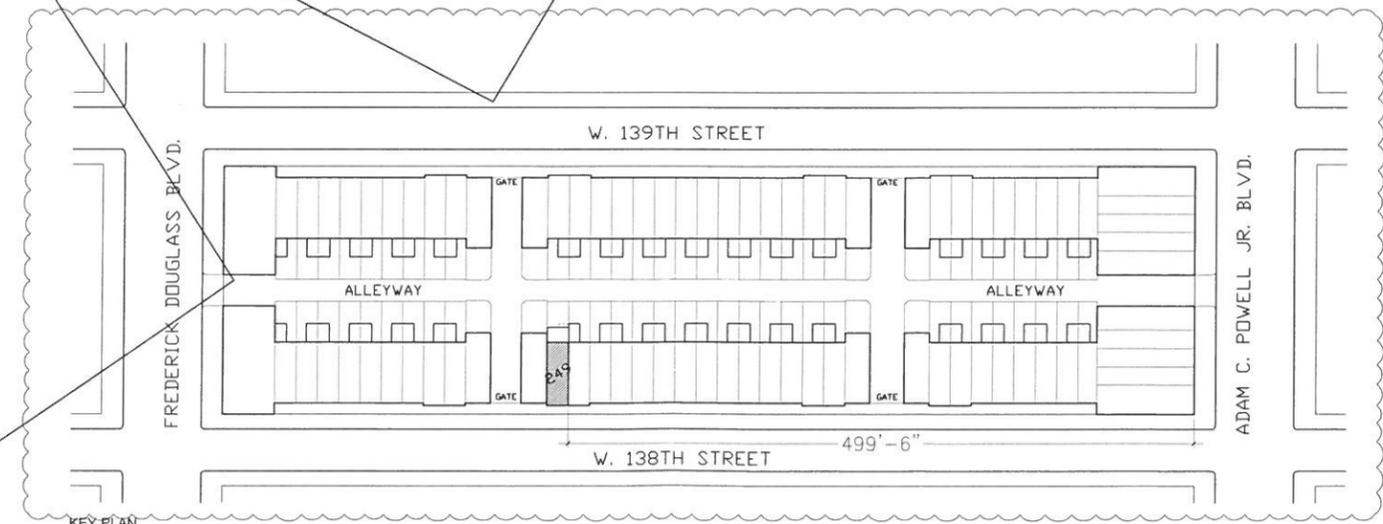
Historic District Boundaries



LPC HISTORIC DISTRICT BOUNDARY MAP



FREDERICK DOUGLASS BLVD GATE



KEY PLAN

1. CONTRACTORS MUST REVIEW AND REFER TO SPECIFICATIONS FOR ALL WORK.  
 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE ANY WORK BEGINS.  
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REVISED:	01-18-2014
ISSUED TO DOB:	05-16-2014
REVISIONS / SUBREVISIONS:	DATE
<b>dbpA</b>	
DESIGNBYPRODUCT ARCHITECTS	
37 EAST 18TH STREET NEW YORK, NY 10003	SCALE: AS NOTED TOTAL SQ. FT. AS NOTED

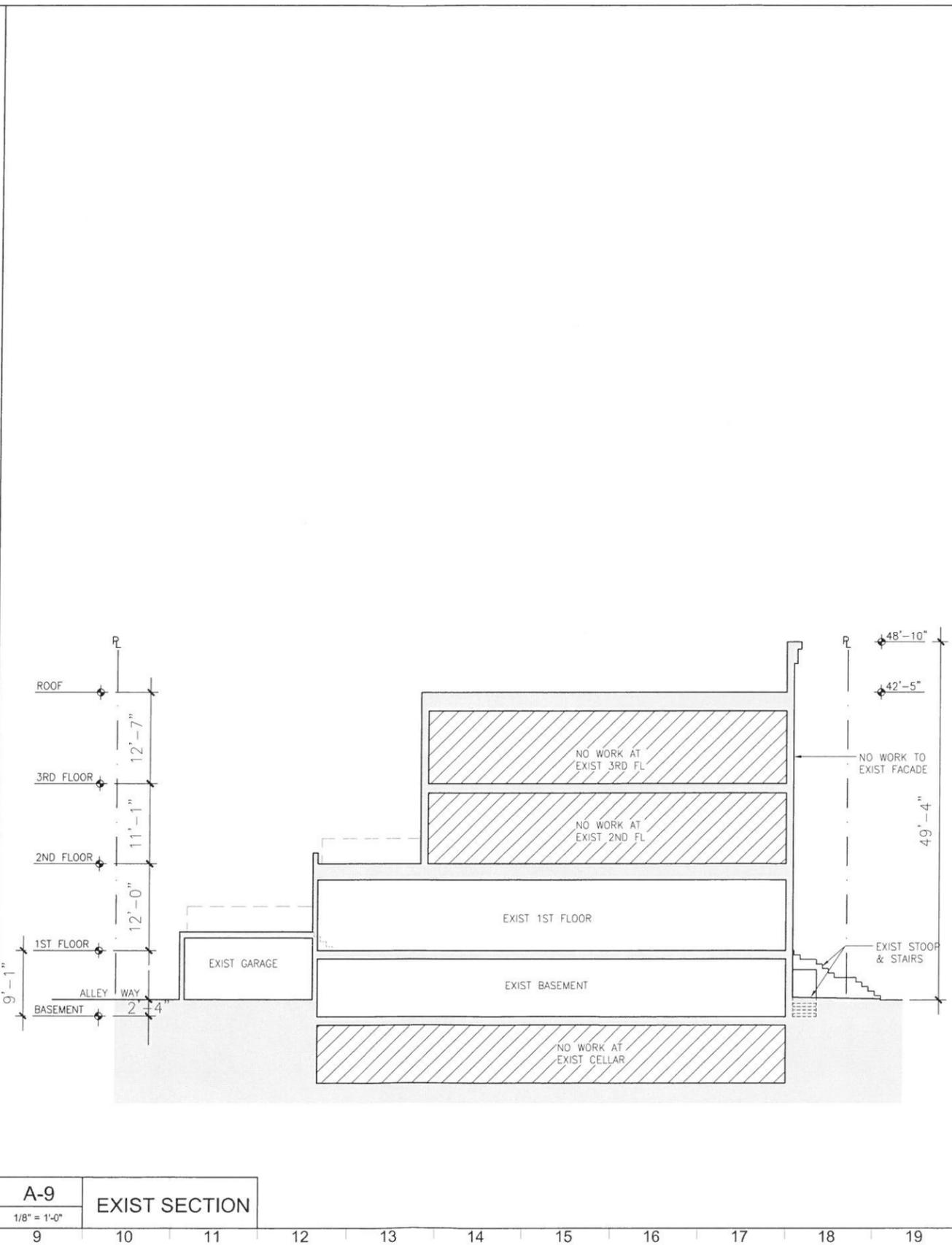
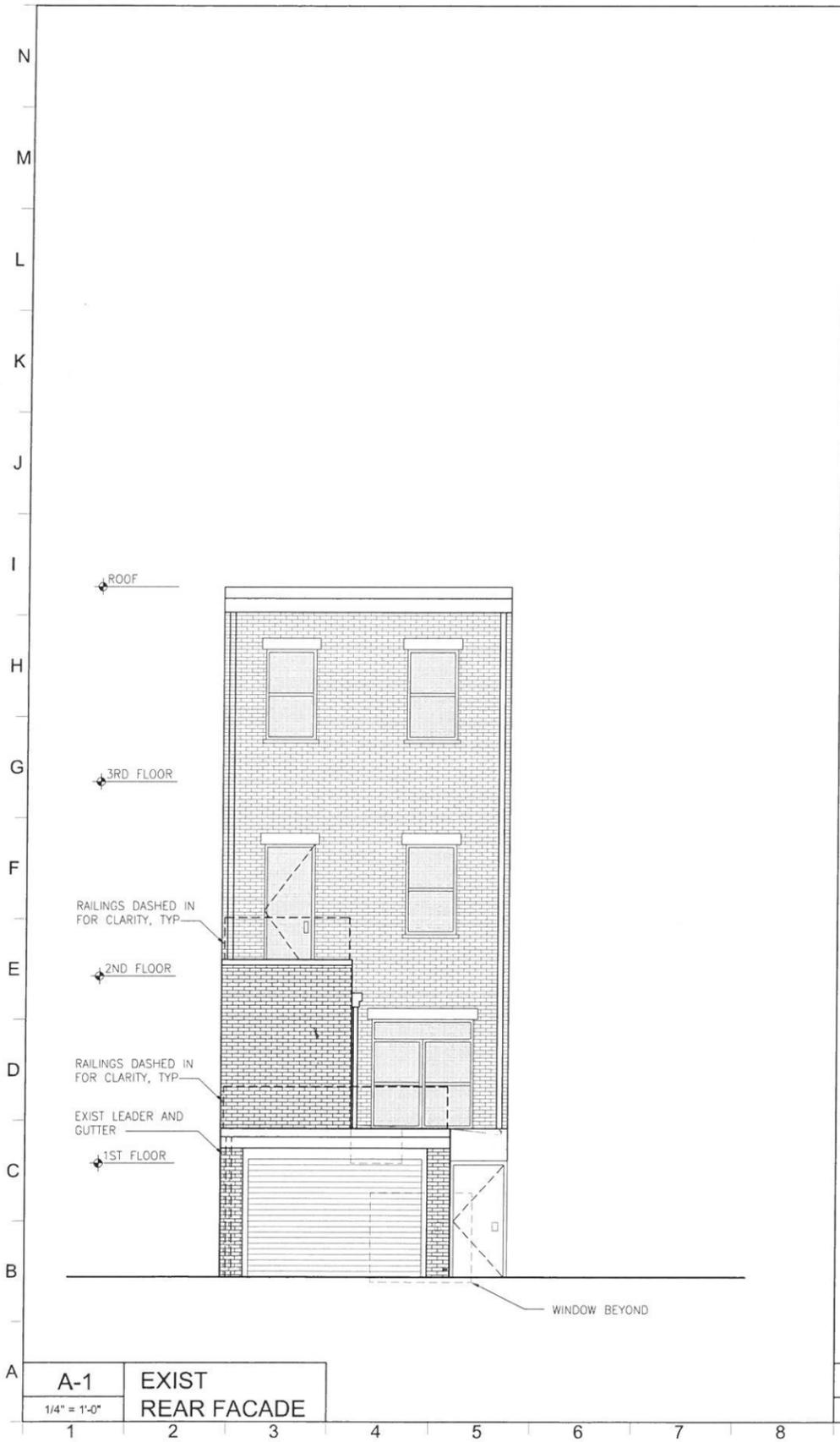
PROJECT  
**TOWNHOUSE EXTENSION**  
 249 W 138TH STREET  
 NEW YORK 10030

HISTORIC MAP & PHOTOS

SEAL & SIGNATURE	
	DATE: 18 SEPT 2013
	PROJECT No: 2014
	DRAWING BY: JL
	CHK BY: DB
	DWG No: <b>LPC-1</b>
CAD FILE No: 249 W 138 DOB PLANS 7 of 7	

7 of 7

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19



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ISSUED TO LPC	15-05-2014
REVIEWED	07-18-2014
ISSUED TO DOB	05-16-2014
REVISIONS / SUBMISSIONS	DATE
<b>dbpA</b>	
DESIGN BY PRODUCT ARCHITECTS	
37 EAST 18TH STREET NEW YORK, NY 10003	SCALE: AS NOTED TOTAL SQ. FT. AS NOTED

PROJECT  
**TOWNHOUSE EXTENSION**  
 249 W 138TH STREET  
 NEW YORK 10030

EXISTING  
 SECTION & ELEVATION

SEAL & SIGNATURE	
	DATE: 18 SEPT 2013
	PROJECT No: 2014
	DRAWING BY: JL
	CHK BY: DB
	DWG No: <b>LPC-2</b>
CAD FILE No: 249 W 138 DOB PLANS 2 of 3	

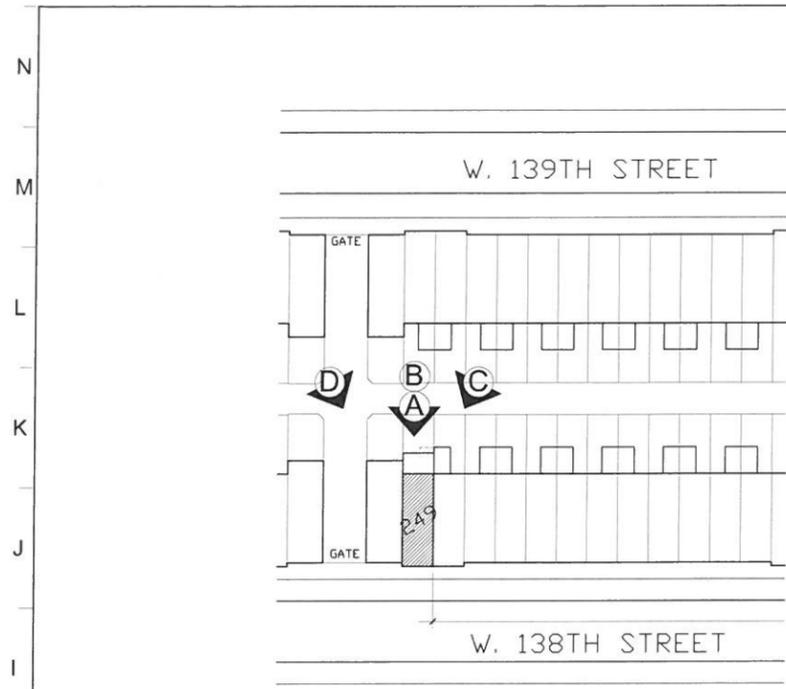
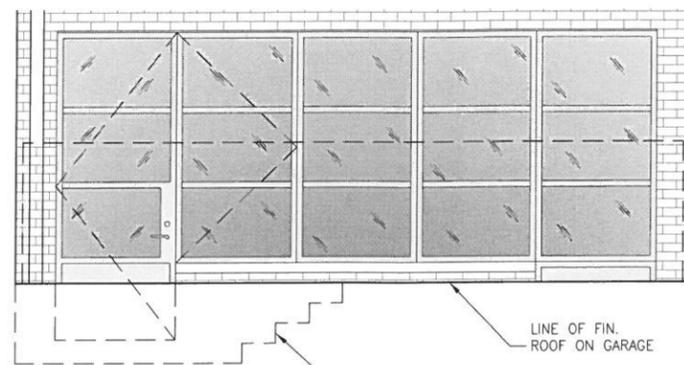
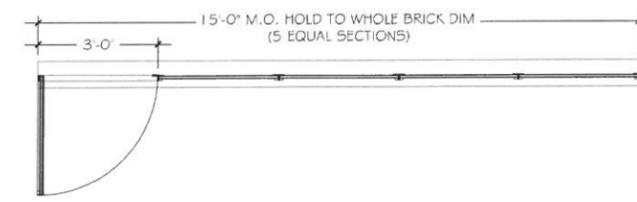


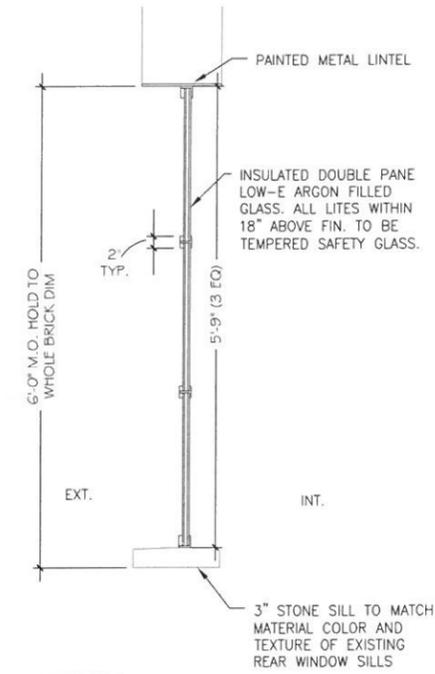
PHOTO KEY



ELEVATION 1/2" = 1'-0"



PLAN 1/2" = 1'-0"



SECTION 1" = 1'-0"

**H-10** PROPOSED REAR WINDOW DIAGRAMS  
AS NOTED

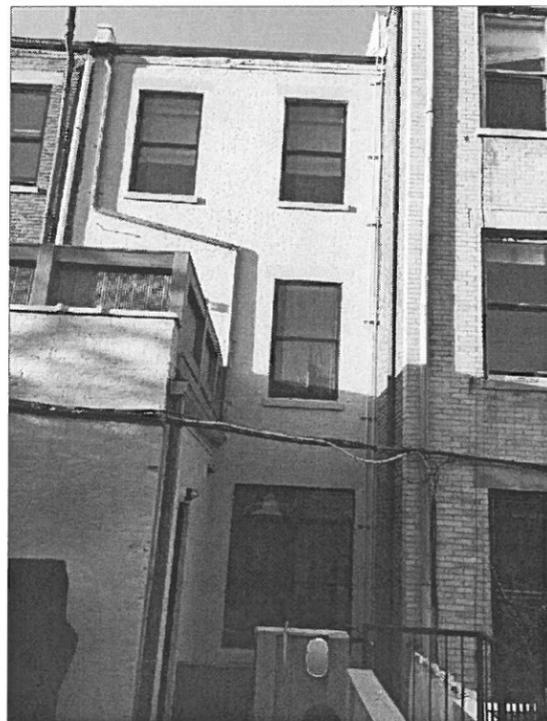


PHOTO A

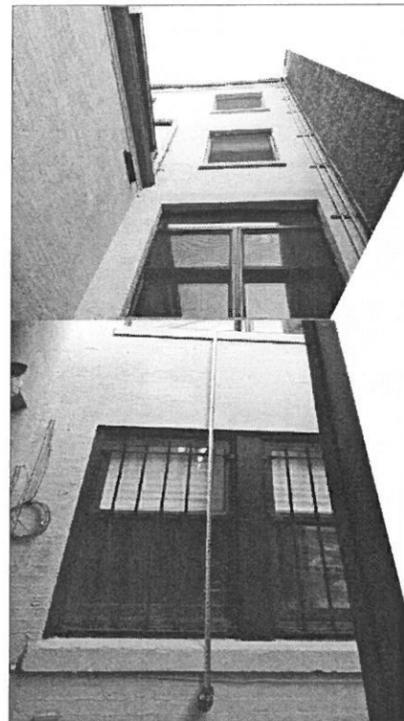


PHOTO B



PHOTO C

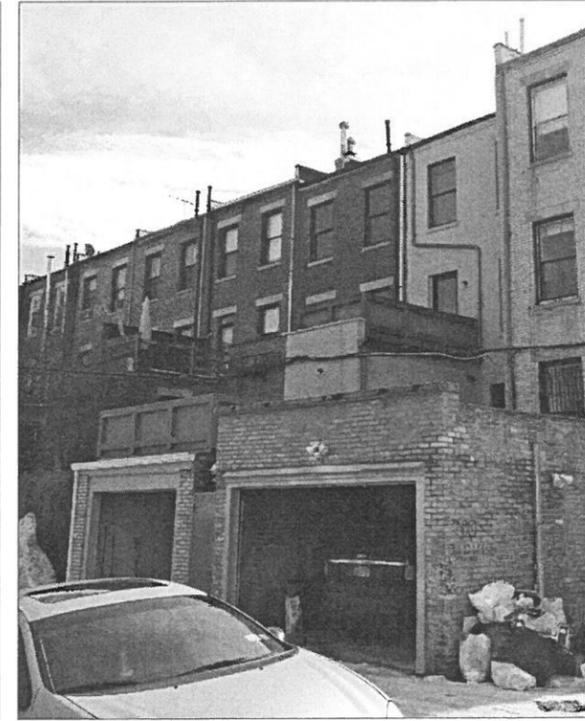


PHOTO D

**A-1** PHOTOS OF REAR FACADE AND AREA OF WORK  
N.T.S.

1. CONTRACTORS MUST REVIEW AND REFER TO SPECIFICATIONS FOR ALL WORK.  
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE ANY WORK BEGINS.  
3. ALL COMMUNICATION SHALL BE IN WRITING. © dbpA 2014

ISSUED TO LPC 10-05-2014  
REVISED 07-18-2014  
ISSUED TO DOB 05-16-2014  
REVISIONS / SUBMISSIONS DATE

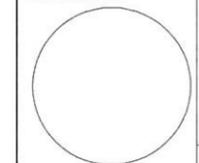
**dbpA**  
DESIGNBYPRODUCT ARCHITECTS  
37 EAST 18TH STREET  
NEW YORK NY 10003

SCALE: AS NOTED  
TOTAL SQ. FT.: AS NOTED

PROJECT  
**TOWNHOUSE EXTENSION**  
249 W 138TH STREET  
NEW YORK 10030

PROPOSED WINDOW DIAGRAMS AND  
PHOTOS OF REAR FACADE WORK AREA

SEAL & SIGNATURE



DATE: 18 SEPT 2013  
PROJECT No: 2014  
DRAWING BY: JL  
CHK BY: DB  
DWG No:

**LPC-3**

CAD FILE No: 249 W 138 DOB PLANS 3 of 3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19