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the nature of architecture

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Residential Accessibility Modification
Certificate of Appropriateness Application

55 Bethune Street Entrance
Westbeth Artists Housing
LP-2391 / Block 639, Lot 1 / Zone C1-6
Community District 2, Manhattan

03 October 2016



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bethune street entry



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01
location map
greenwich village
historic district map



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2016 NYCityMap - NYC GIS Street Map

02
historic photos



Photo obtained from LPC Designation Report
(New York Public Library, Astor, Lenox and Tilden
Foundations c. 1933)



Photo obtained from LPC Designation Report
(John B. Bayley c.1964)

03
historic photos
bethune street entry



Photo obtained from LPC Designation Report (John B. Bayley c.1964)



04
historic photos
bethune & washington
streets



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Photo obtained from LPC Designation Report, Christopher D. Brazee c. 2011

05
pre-existing
condition photos
detail views



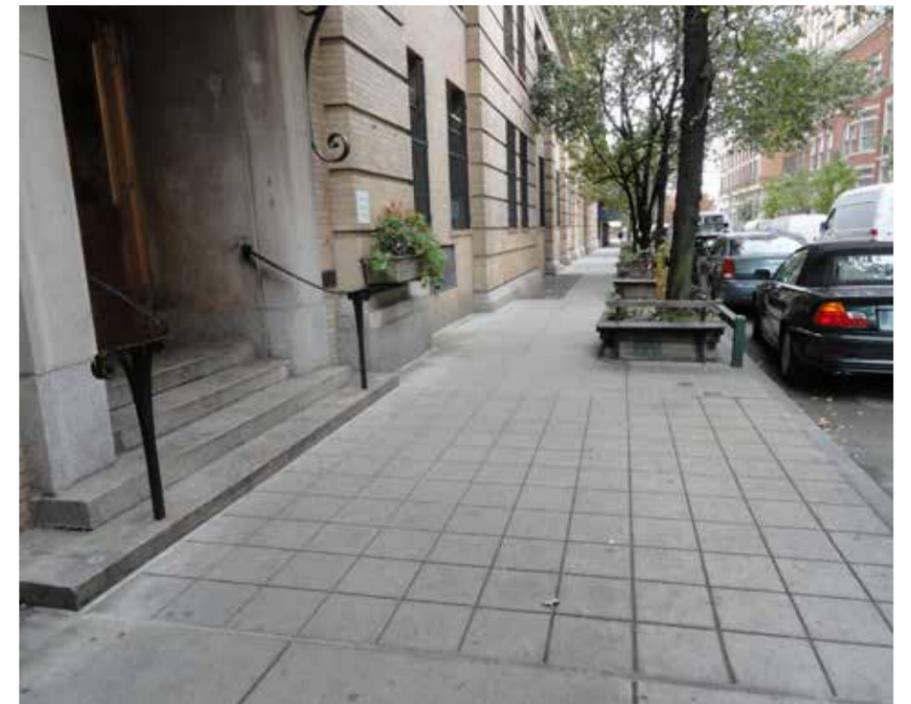
bethune street entry looking south west



bethune street entry looking south



bethune street entry looking east



bethune street entry looking west



06
pre-existing
condition photos
detail views



bethune street entry eastern handrail



bethune street entry western handrail



bethune street entrance looking
south east

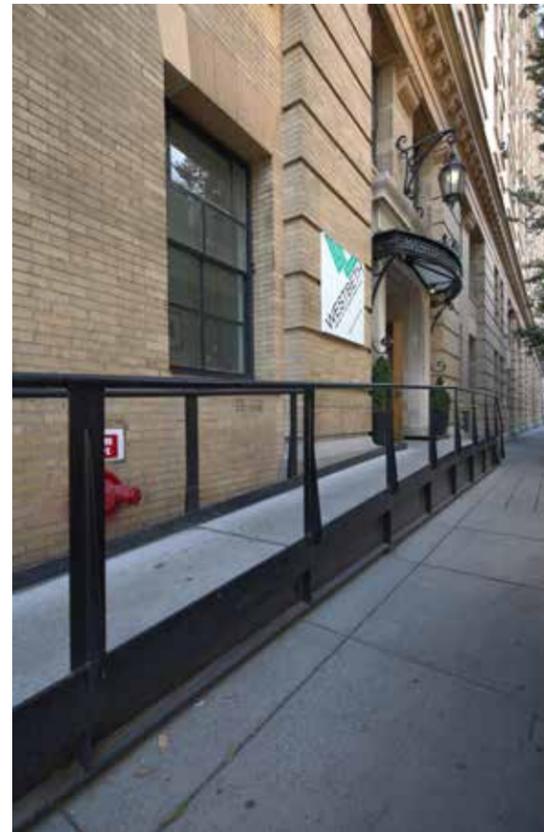


bethune street entrance looking west

07
existing condition photos
detail views



accessible ramp looking west



accessible ramp looking
south west



accessible ramp looking
south east



accessible ramp design concept details



08
pre-existing
bethune street entrance
elevation

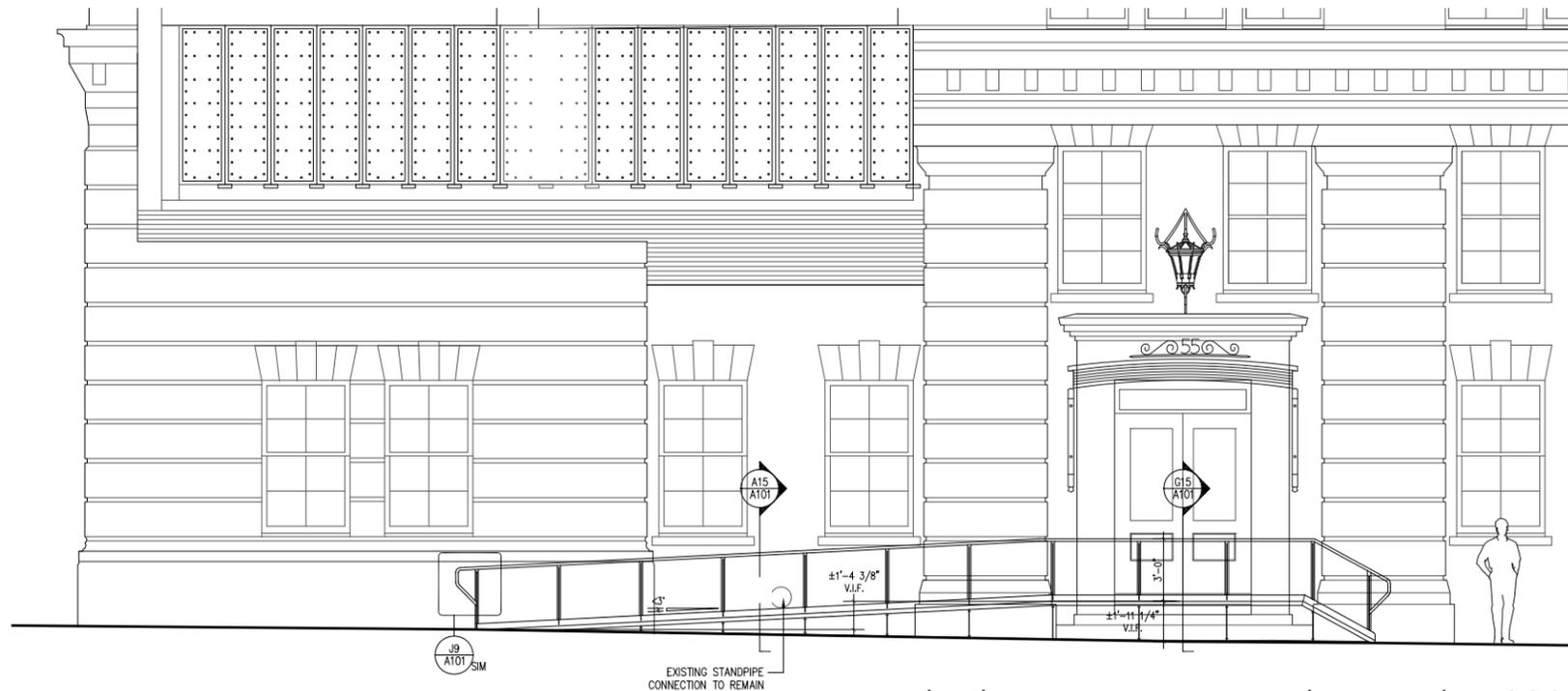


bethune street entry, elemental c. 2011



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09
existing
bethune street entrance
A101.00 elevation

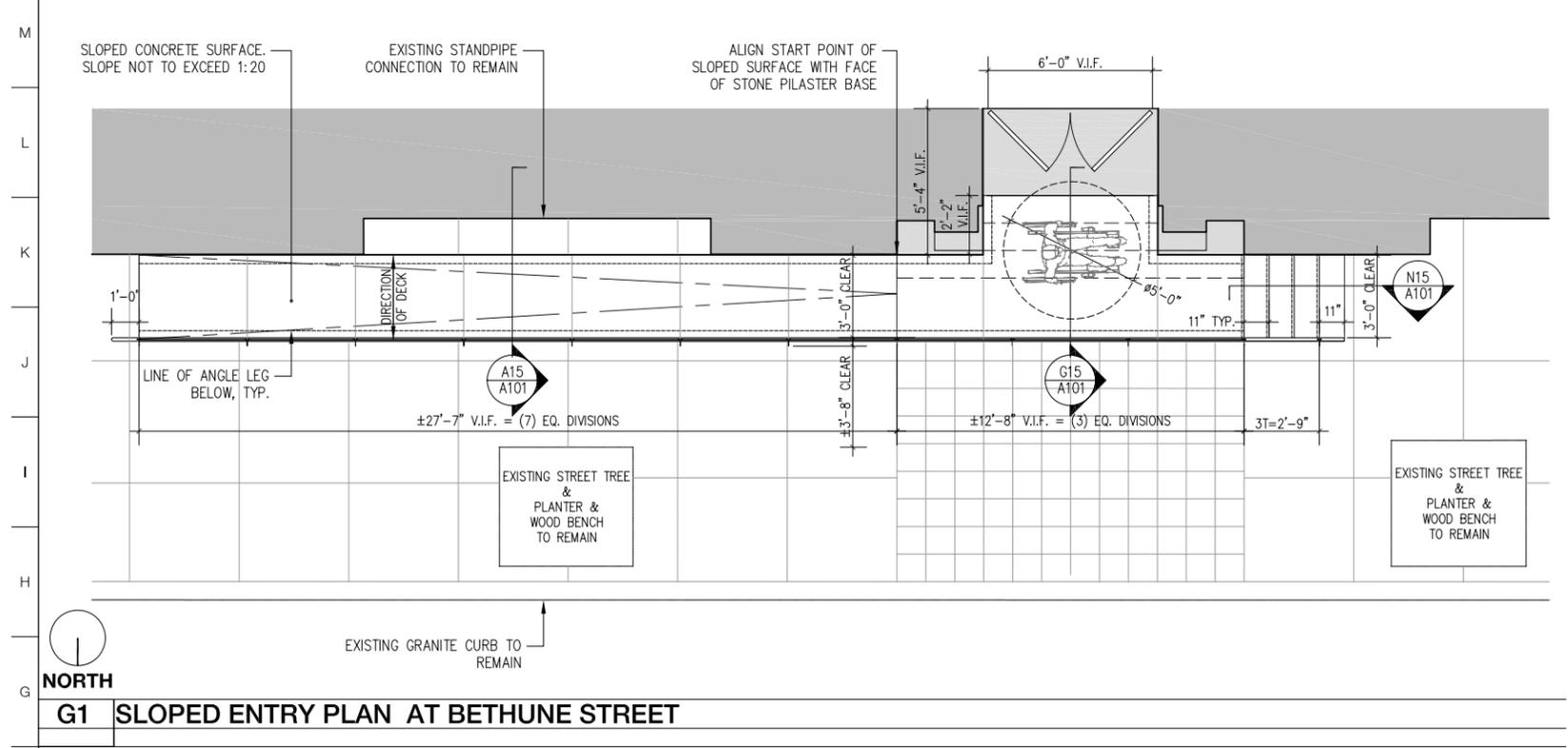
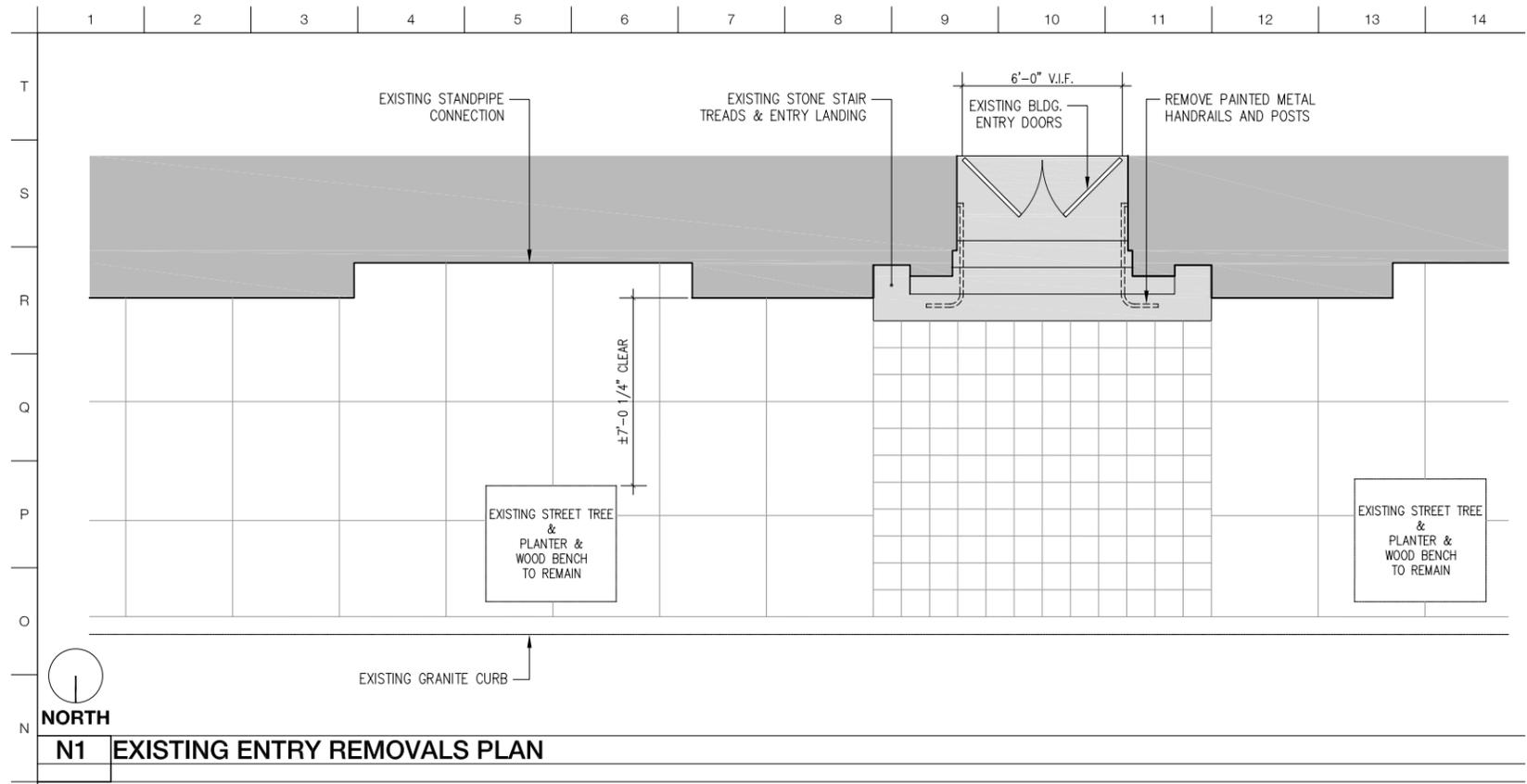


bethune street entry, elemental c. 2016

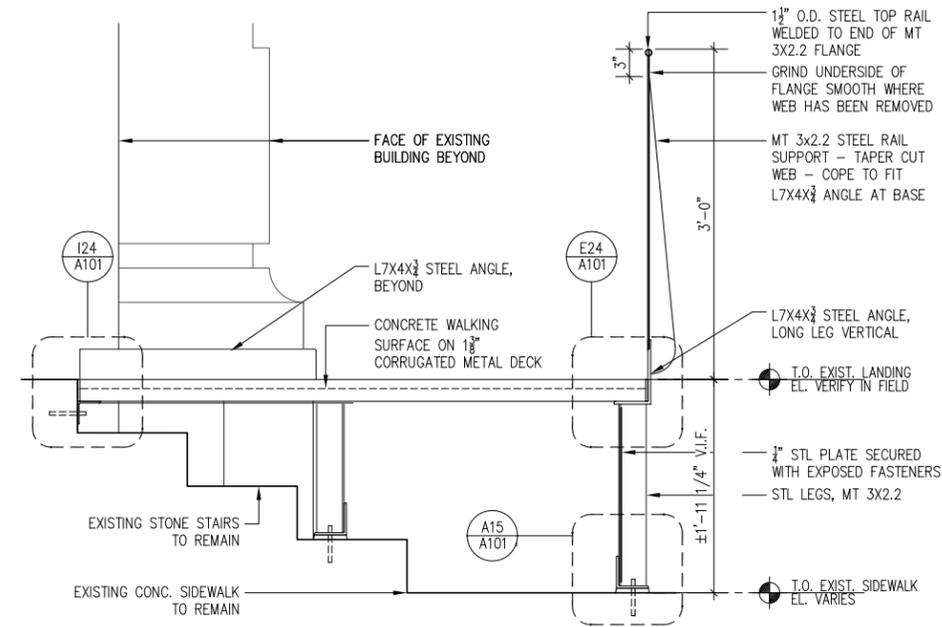


elemental

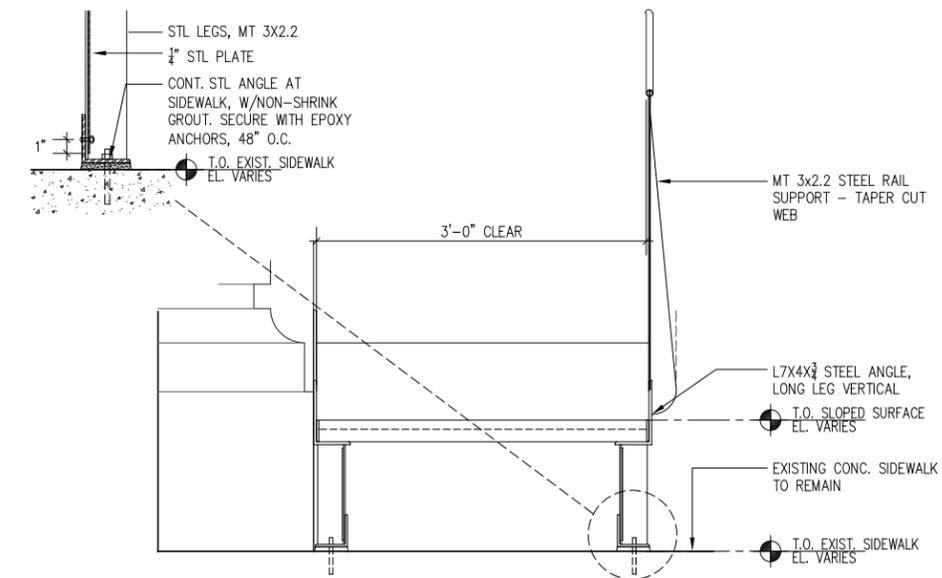
10
 accessible ramp
 permanent
 installation A101.00
 drawings
 enlarged plans



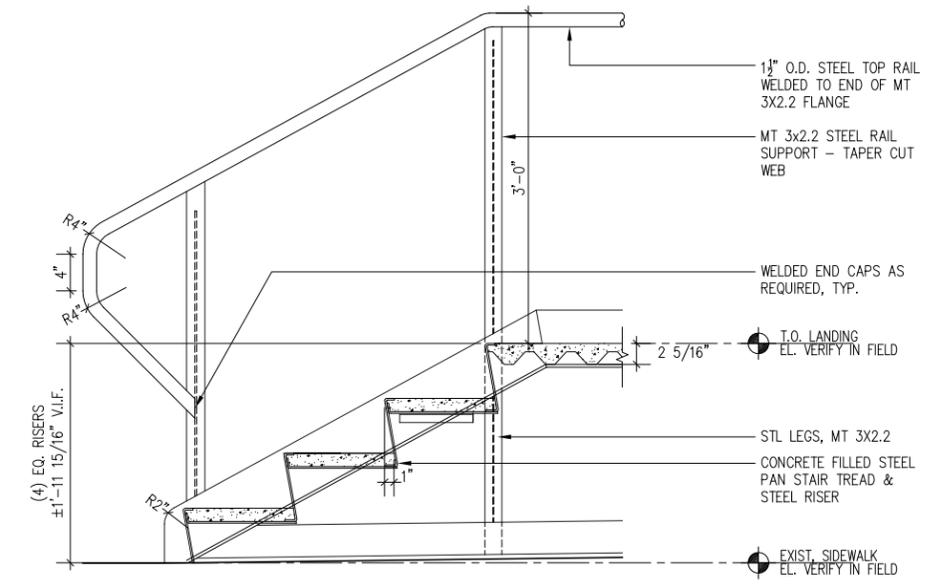
11
accessible ramp
permanent
installation A101.00
drawings
 enlarged details



G15 SECTION AT LANDING



A15 SECTION AT RAMP



N15 SECTION AT STAIR



12
accessible ramp
permanent
installation A101.00
drawings
enlarged details & notes

OCCUPANCY: J-2, RESIDENTIAL

EXIT ACCESS REQ'S - CAPACITY OF OCCUPANTS PER UNIT WIDTH (BC TABLE 6-1)

EXIT DOOR = 40 OCCUPANTS/UNIT WIDTH

STAIRS = 30 OCCUPANTS/UNIT WIDTH

OTHER = 50 OCCUPANTS/UNIT WIDTH

CALCULATION OF OCCUPANT CAPACITY SERVED

EXISTING EXIT DOOR WIDTH: 72" (36" X 2 DOORS) = 3 UNITS @ 22*/UNIT

OCCUPANTS SERVED: 3 UNITS X 40 OCCUPANTS = 120 OCCUPANTS

EGRESS WIDTH PROVIDED, STAIRS: 36" = 1.5 UNITS

OCCUPANTS SERVED: 1.5 UNITS X 30 OCCUPANTS/UNIT = 45 OCCUPANTS

EGRESS WIDTH PROVIDED: 36" = 1.5 UNITS

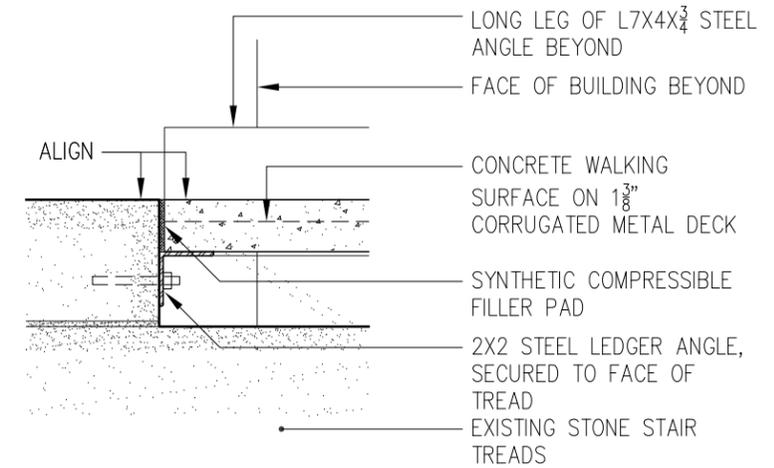
OCCUPANTS SERVED: 1.5 UNITS X 50 OCCUPANTS = 75 OCCUPANTS

TOTAL OCCUPANTS SERVED, REQUIRED: 120 OCCUPANTS

TOTAL OCCUPANTS SERVED, PROVIDED: 120 OCCUPANTS

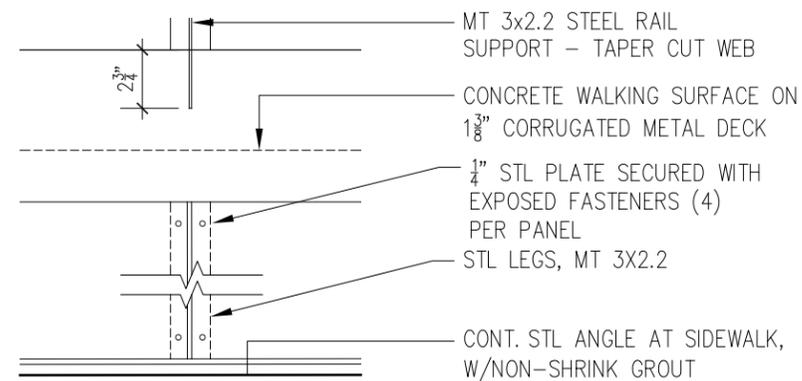
NOTES:

- PER 27-308 RAMPS, WHEN A BUILDING ERECTED PRIOR TO 12/6/1969 IS ALTERED TO PROVIDE ACCESS TO INDIVIDUALS WHO USE WHEELCHAIRS, RAMPS CONSTRUCTED TO PROVIDE SUCH ACCESS MAY, WITH THE APPROVAL OF THE COMMISSIONER, PROJECT BEYOND THE STREET LINE FOR A DISTANCE OF NOT MORE THAN 44".
- 27-357(D) EXIT REQUIREMENTS, BUILDING ACCESS. - WHERE RAMPS ARE USED THEY SHALL HAVE A SLOPE NOT GREATER THAN 1:12. SLOPE PROVIDED = 1:20

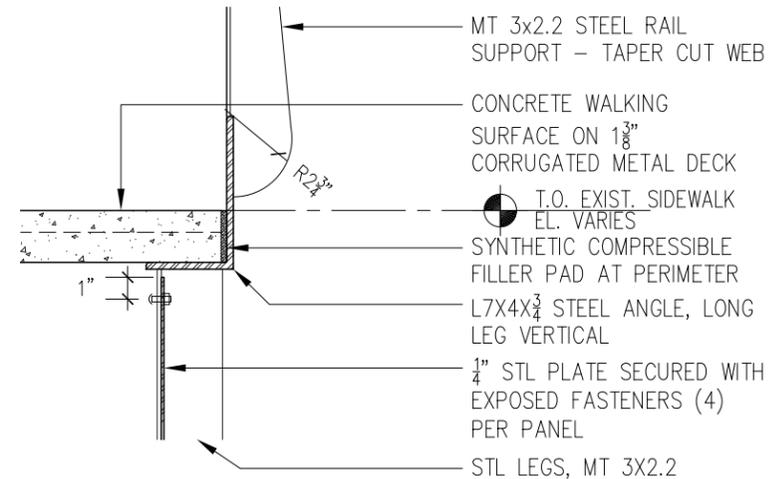


I24 | **DETAIL AT SLAB/EXIST. STAIR**

P24 | **EGRESS CALCULATIONS & NOTES**



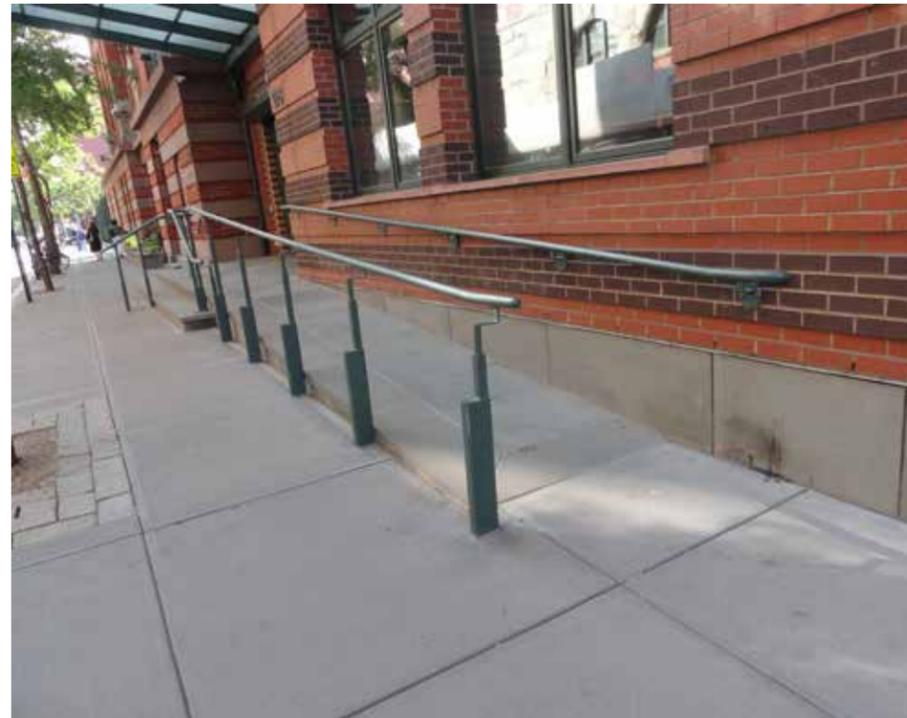
M24 | **DETAIL**



E24 | **DETAIL AT SLAB EDGE**



**13
greenwich village
accessible ramps**



272-278 W 10th Street
(btwn Washington Avenue & Greenwich)



85 10th Avenue
(btwn W 15th & W 16th Streets)



W 16th Street between 11th & 10th Avenues



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14
temporary
installation lpc
permit



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
TEL: 212 659-7709 FAX: 212 669-7780



PERMIT
CERTIFICATE OF NO EFFECT

| | | | |
|---|--------------------------------------|------------------------------|------------------------------|
| ISSUE DATE: 07/28/15 | EXPIRATION DATE: 10/1/2016 | DOCKET #: 158903 | CNE #: CNE 17-0659 |
| ADDRESS: 137 BANK STREET Bell Telephone Laboratories Complex (now Westbeth) INDIVIDUAL LANDMARK | | BOROUGH: MANHATTAN | BLOCK/LOT: 639 / 1 |

Display This Permit While Work Is In Progress

ISSUED TO:

Steve Neil
Westbeth Housing Corp-HDFC
463 West Street
New York, NY 10014

Pursuant to Section 25-306 of the Administrative Code of the City of New York, the Landmarks Preservation Commission hereby approves certain alterations to the subject premises as proposed in your application completed on July 28, 2015.

The approved work consists of the removal of the metal railings at the Bethune Street entrance steps, for salvage, storage, and reinstallation at a future date; the temporary installation of a concrete ramp on corrugated metal decking, a new elevated concrete landing bearing on the existing stone entrance stairs, and three 36" wide concrete-filled metal pan steps, at the Bethune Street entrance; to be installed October 1st, 2015, and removed October 1st, 2016; as described in an e-mail dated July 28th, 2015 and shown in photographs and drawings labeled T-001.00, Z-001.00, A-001.00, and A-101.00, dated revised April 27th, 2015, prepared by Carl Stein, R.A., and submitted as components of the application.

In reviewing this proposal, the Commission notes that the Bell Telephone Laboratories Complex, now Westbeth Artists' Housing, describes 137-169 Bank Street (aka 445-465 West Street, 51-77 Bethune Street, and 734-754 Washington Street) as a complex of buildings, including a neo-Classical style office and factory building, designed by Cyrus L. W. Eidlitz and built in 1896-1899, at 455-465 West Street (aka 57-77 Bethune Street) and a neo-Classical style building designed by Cyrus L. W. Eidlitz and built in 1899 and altered in 1931-34 by Voorhees, Gmelin & Walker for the New York Central Railroad elevated freight railway.

With regard to the proposal, the Commission finds, in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 2-18, that the duration of the temporary installation will be for a single period not to exceed one (1) calendar year or less; that the installation will cause no damage to protected architectural features of the property; that an acceptable plan and time schedule for the dismantling of the property has been submitted to the commission as a component of the application; and that an escrow agreement or other adequate assurance acceptable to the Commission is provided to establish that a mechanism is available for the removal of the installation upon expiration of the permit should the applicant fail to remove the installation. Based on these findings the work is approved.

The Commission has reviewed the application and these drawings and finds that the work will have no effect on significant protected features of the building.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

All approved drawings are marked approved by the Commission with a perforated seal indicating the date of the approval. The work is limited to what is contained in the perforated document. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Olivia Brazee.


Meenakshi Srinivasan
Chair

PLEASE NOTE: PERFORATED DRAWINGS AND A COPY OF THIS PERMIT HAVE BEEN SENT TO:
Stacie Scorgia Co.

cc: Carly Bond, Deputy Director of Preservation/LPC

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Issued: 07/28/15
DOCKET #: 158903



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Current LPC CNE 17-0659 for temporary entry modification