

Date: 07/07/2016

APARTMENT 1W

140 Perry STREET
NEW YORK, NY 10014

Please find below **Scope of work for APT 1W**

- Dismantling existing Kitchen island. All other Kitchen millwork and appliances to remain on Ground Floor.
- Remove Existing Windows; Enlarge Openings to Match Previous Opening Sizes; Lot Line Double Windows to be Altered to Single Window Size Openings; Pending LPC Approval
- Flip swing of Entry Door; Finishes to match existing hallway.
- Remove one Guest Room on Ground floor for larger entry area
- Master Bedroom to have new walk in closets
- New tub in Master Suite
- New tile in Master shower
- New Floor Skylight to Cellar for light
- New stair to cellar level
- New Storage Closet in Cellar
- New Powder Room in Cellar
- New mechanical in cellar, new ejector pump
- New Recreation Room with shelving and Butlers Pantry in Cellar
- Existing Laundry equipment and location to remain

Notes:

- A. Halls, sidewalks, stairways, courtyards and other public areas won't be used as storage for building materials or debris. Contractor will protect and clean all listed areas during the work.
- B. Fire extinguishers and smoke alarms in the unit will be maintained in function during the work.
- C. All water, steam, gas and other valves will remain accessible during and after the completion of the work.
- D. All materials and rubbish to be disposed in sealed barrels or double bags before removing them from the unit. Any dumpster or garbage container will not be left overnight in front of the building.
- E. Scope of work doesn't include any work that would require asbestos investigation.
- F. Scope of work does involve penetration of exterior Building wall for new mechanical systems. Scope of work is pending Landmarks approval.
- G. Scope of work includes replacement of windows. Scope of work pending Landmarks approval.

Start date : TBD

End date: TBD

mc-a
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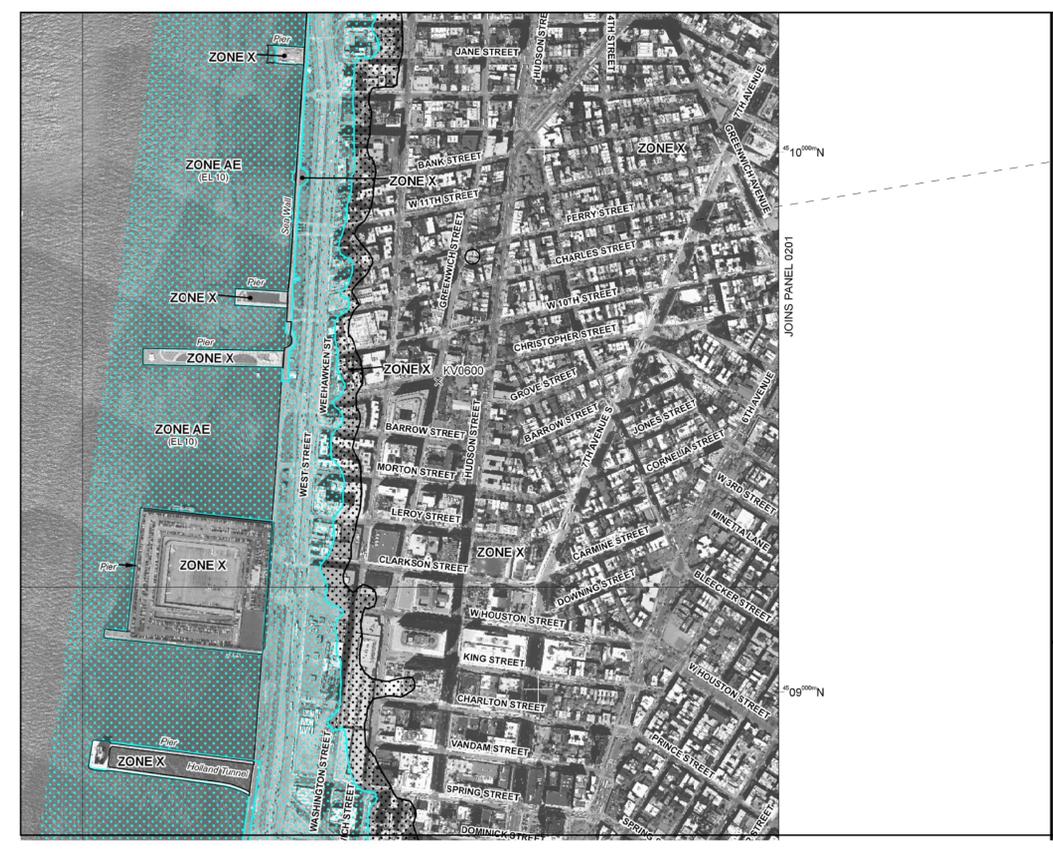
DE CAESTECKER/MALLE
 RESIDENCE
 140 PERRY ST. 1W
 NEW YORK, NY10014

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

DWG. TITLE:
FEMA MAPS

DRAWN: BL
 CHECKED: AC/PB
 SCALE: AS NOTED
 DATE: 06.18.14
 JOB No.: 15.009
 DWG No.
T-002.00



2007 FEMA MAP:
 PROJECT LOCATION:
 140 PERRY STREET, APT 1W
 NEW YORK, NY 10014

100 Insurance is available in this community, contact your local Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'

FIRM
 FLOOD INSURANCE RATE MAP
 CITY OF
 NEW YORK,
 NEW YORK
 BRONX, RICHMOND, NEW YORK,
 QUEENS, AND KINGS COUNTIES
 PANEL 182 OF 457
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)
 CONTRACT NUMBER PANEL SHEETS
 3604970182F 4
 MAP NUMBER
 3604970182F
 MAP REVISED
 SEPTEMBER 5, 2007
 Federal Emergency Management Agency

This is an official copy of a portion of the above referenced Flood Map. It was extracted using F-INT On-Line. This map does not reflect changes to flood zones which may have been made subsequent to this date on the site block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.mca.fema.gov

NOTES TO USERS

This map is for use in determining the National Flood Insurance Program (NFIP) flood insurance risk for a property. It is not intended to be used for any other purpose. Flood insurance risk is determined by the Flood Insurance Rate Map (FIRM) and the Flood Insurance Study (FIS) report that accompanies the FIRM. Flood insurance risk is determined by the Flood Insurance Study (FIS) report that accompanies the FIRM. Flood insurance risk is determined by the Flood Insurance Study (FIS) report that accompanies the FIRM.

General Flood Insurance Information

Flood insurance is available in this community through the National Flood Insurance Program (NFIP). Flood insurance is available in this community through the National Flood Insurance Program (NFIP). Flood insurance is available in this community through the National Flood Insurance Program (NFIP).

Map Accuracy

The map is based on the best data available at the time of publication. The map is based on the best data available at the time of publication. The map is based on the best data available at the time of publication.

Map Scale

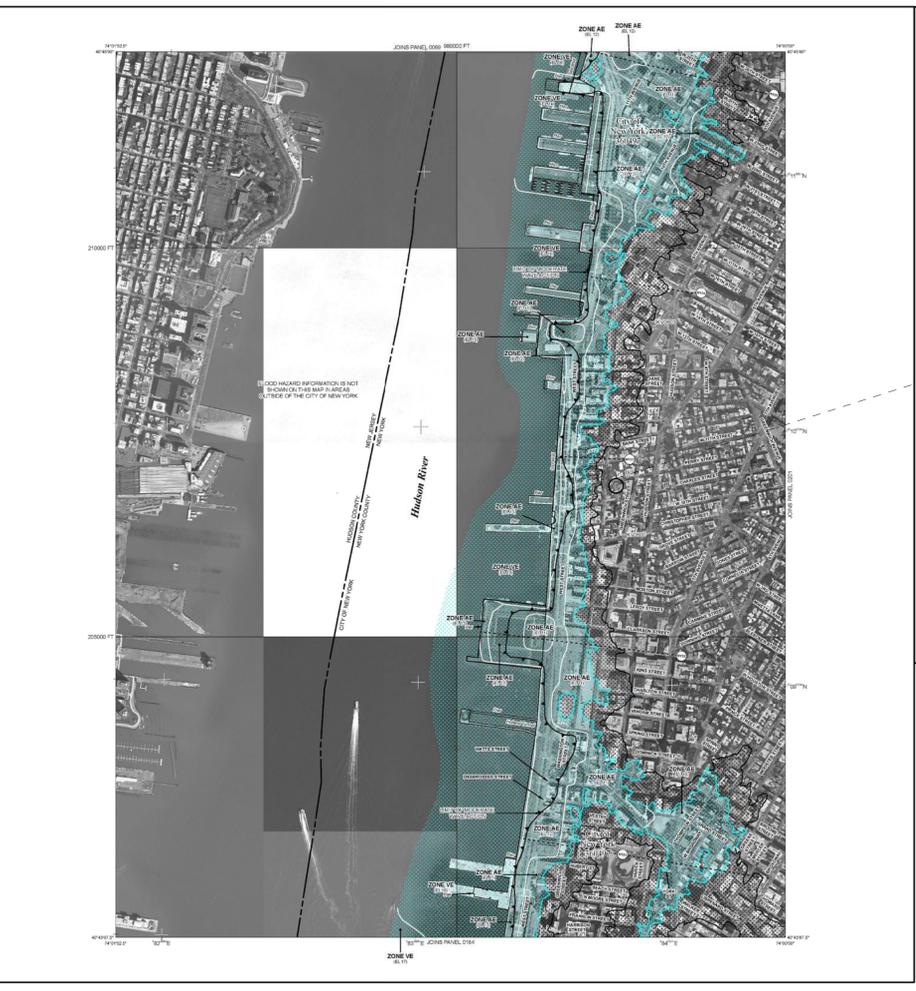
The map scale is 1" = 500'. The map scale is 1" = 500'. The map scale is 1" = 500'.

Map Date

The map was revised on September 5, 2007. The map was revised on September 5, 2007. The map was revised on September 5, 2007.

Map Number

The map number is 3604970182F. The map number is 3604970182F. The map number is 3604970182F.



2013 FEMA MAP:
 PROJECT LOCATION:
 140 PERRY STREET, APT 1W
 NEW YORK, NY 10014

100 Insurance is available in this community, contact your local Flood Insurance Program at 1-800-638-6620.

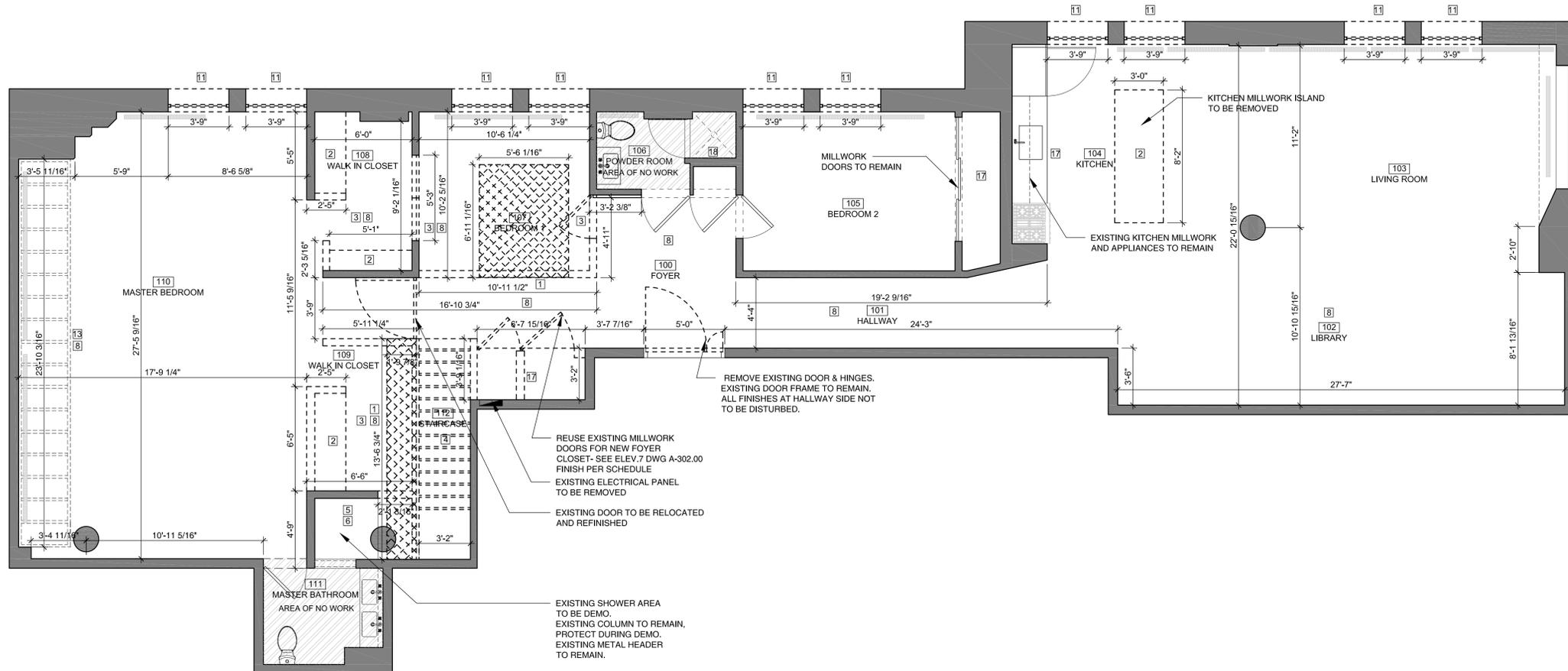
MAP SCALE 1" = 500'

FIRM
 FLOOD INSURANCE RATE MAP
 CITY OF
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 NEW YORK
 BRONX, RICHMOND, NEW YORK,
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 PANEL 182 OF 457
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)
 CONTRACT NUMBER PANEL SHEETS
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NOTE:
 THE SITE OF THE PROPOSED WORK IS SHOWN ON FEMA MAP 3604970182F DATED SEPTEMBER 5, 2007 AND THE AMENDED MAP 360490182G DATED DECEMBER 5, 2013. THE BUILDING IN WHICH THE WORK WILL OCCUR IS NOT LOCATED IN A FLOOD CONTROL ZONE.

**DE CAESTECKER/MALLE
 RESIDENCE
 140 PERRY ST. 1W
 NEW YORK, NY 10014**



REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	DA
05/24/16	03	LPC SUBMISSION	DA
05/13/16	02	BUILDING MANAGEMENT REVIEW	DA
02/08/16	01	BUILDING MANAGEMENT REVIEW	DA

1 GROUND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

DEMOLITION/ALTERATION NOTES:

- THE CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS AS REQUIRED TO COMPLETE DEMOLITION & REMOVAL OF ALL ITEMS INDICATED ON THE DRAWINGS.
- PREMISES SHALL BE SWEEPED WITH SWEEPING COMPOUND AND / OR VACUUMED DAILY.
- CONTRACTOR TO PROVIDE PROTECTION FOR ALL SHARED BUILDING CORRIDORS, HALLS, & ELEVATORS FROM DUST, DEBRIS AND DAMAGES DURING DEMOLITION AS REQUIRED BY BUILDING MANAGEMENT AND ARCHITECT. CONTRACTOR TO CLEAN SPACES ON A DAILY BASIS; CONTRACTOR WILL BE RESPONSIBLE TO REFINISH/REPAIR ANY DAMAGES AT NO EXPENSE TO OWNER / ARCH.
- CONTRACTOR TO OBSERVE ALL SAFETY PRECAUTIONS AS REQUIRED BY CODE AND ABIDE BY ALL REGULATIONS AS PER THE BUILDING ALTERATION AGREEMENT.
- ARCHITECT TO DISCONNECT EXISTING ELECTRICAL AND PLUMBING SERVICE LINES. SEAL OR CAP AS REQUIRED BEFORE STARTING DEMOLITION OPERATIONS; WORK TO BE COORDINATED WITH BUILDING SUPERINTENDENT.
- CONTRACTOR TO COORDINATE & SECURE APPROVAL WITH BUILDING MANAGEMENT FOR ALL BUILDING SERVICE RELATED WORK AND SCHEDULE USE OF ELEVATOR REQUIRED FOR DEMOLITION.
- IN ALL AREAS WHERE DEMOLITION OF WALLS AND FLOOR CAUSES AN UNEVENNESS IN FLOORS, THE CONTRACTOR SHALL LEVEL & PATCH THE FLOOR.
- NO UTILITY, PIPING OR CONDUIT SERVING ANY OTHER APARTMENT OR ANY UTILITY RISER MAY BE MODIFIED, ADDED TO OR RELOCATED EXCEPT AND UNLESS SPECIFICALLY NOTED ON THE DRAWINGS AND ONLY AFTER BUILDING MANAGEMENT / SUPERINTENDENT'S REVIEW.
- THE CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH PARTITIONS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION & CONSTRUCTION ARE IN PROGRESS.
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION AS REQUIRED.
- PROTECT ALL RADIATOR WITH HEAT RESISTANT BLANKET.
- CONTRACTOR TO BE RESPONSIBLE TO FIRESTOP ALL FLOORING/CEILING AND ANY OTHER OPENINGS OR

PENETRATIONS

- ALL EXISTING WALLS REMAINING TO BE PATCHED, SKIMMED AND REFINISHED - LEVEL 4 UNLESS OTHERWISE NOTED. ANY EXISTING OPENINGS EXPOSED DURING DEMOLITION SHALL BE FIRESTOPPED TEMPORARILY ON THE SAME DAY UNCOVERED
- NO CUTTING OR CHANNELING OF BUILDING STRUCTURE IS PERMITTED.
- THE PLUMBING SUBCONTRACTOR SHALL PROPERLY CAP ALL PLUMBING LINES WHERE FIXTURES ARE REMOVED AT THE RISER.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A WRITTEN SCHEDULE & SEQUENCE OF THE DEMOLITION.
- UPON COMPLETION OF DEMOLITION WORK, THE CONTRACTOR SHALL PROVIDE THAT ALL AREAS ARE TO BE LEFT BROOM CLEAN.
- GC TO PROVIDE CERTIFICATION THAT EXISTING FINISHES DO NOT CONTAIN LEAD OR ASBESTOS PRIOR TO THE START OF DEMOLITION. IF THESE SUBSTANCES ARE PRESENT, REMOVAL AND DISPOSAL OF PARTITIONS IS TO COMPLY WITH CURRENT EPA REGULATIONS. CONTRACTORS MUST BE CERTIFIED AS REQUIRED BY EPA.
- DEMOLITION AND DEBRIS REMOVAL TO BE COORDINATED WITH THE BUILDING SUPERINTENDENT, BUILDING MANAGEMENT, AND THE BOARD. ALL DEMOLITION AND DISPOSAL METHODS SHALL COMPLY WITH STATE AND LOCAL CODES AND REGULATIONS. DEBRIS WILL BE REMOVED FROM THE PREMISES ON A DAILY BASIS. NO DEBRIS OF ANY KIND MAY BE LEFT ON THE SIDEWALK, LOBBY OR COMMON AREAS FOR LATER PICK UP.
- ANY MISSING FIRE STOPPING IDENTIFIED DURING DEMOLITION IS COMPLETE MUST BE CORRECTED AND INSPECTED PRIOR TO CLOSING.
- APPROPRIATE PROTECTION MUST BE PROVIDED AT AREAS THAT WILL BE ACCESSED BY THE CONSTRUCTION CREW: I.E. ELEVATOR, LOBBY AND DELIVERY ROUTES. ALL VENTS AND EXHAUSTS IN THE UNIT MUST BE FULLY SEALED TO PREVENT INFILTRATION OF DUST AND DIRT. GC MUST INSTALL A DUST VESTIBULE WITH ZIPPERED ENTRY AT THE MAIN POINT OF ENTRY TO THE UNIT TO PREVENT THE TRANSFERENCE OF DUST OUT TO OTHER AREAS OF THE BUILDING; A TACK MAT SHOULD BE INSTALLED IN THE VESTIBULE TO PREVENT THE SPREAD OF DUST VIA FOOT TRAFFIC.

KEYNOTES

- REMOVE FLOOR SLAB TO ACCOMMODATE FLOOR STRUCTURAL GLAZING - REFER TO STRUCTURAL ENGINEER'S DRAWINGS S-100&S-200 FOR ADDITIONAL INFORMATION
- REMOVE MILLWORK & FIXTURES
- REMOVE NON LOAD-BEARING PARTITIONS, DOORS & FRAMES
- REMOVE EXISTING STAIRCASE
- REMOVE ALL PLUMBING FIXTURES AND FITTINGS, REMOVE BRANCH PIPING TO FITTINGS AT RISERS OR EXISTING SHUT-OFF VALVE; CAP ALL BRANCH LINES UNTIL NEW WORK IS IN PLACE
- REMOVE ALL WALL / FLOOR TILES AND FINISHES IN THE SHOWER AREA
- REMOVE EXISTING RADIATORS AND PIPING BACK TO RISER, PROTECT RISER DURING CONSTRUCTION
- REMOVE EXISTING LIGHTING FIXTURES
- REMOVE GWB WALL BUILD-OUT
- REMOVE NON STRUCTURAL STEEL BEAM.
- ENLARGE WINDOW OPENINGS VERTICALLY AND INSTALL NEW WINDOWS TO MATCH EXISTING. SEE ELEVATION A-306/A-307 FOR REFERENCE
- DEMO EXISTING RADIATOR AND PIPING. RADIATOR TO BE RELOCATED
- EXISTING SKYLIGHT ABOVE TO REMAIN
- EXCAVATE CELLAR FLOOR TO ACCOMMODATE NEW SEWAGE PUMP DIMENSIONS TBD
- EXISTING SINK AND APPLIANCES TO REMAIN
- OMISSION OF GUEST BATHROOM
- NO CUT OUT OF SKYLIGHT
- NO NEW MILLWORK CLOSET; GUEST BATHROOM TO REMAIN. NO WORK.

LEGEND

- EXISTING WALLS
- TO BE REMOVED - AS NOTED
- FLOOR SLAB TO BE REMOVED - REFER TO STRUCTURAL ENGINEER'S DRAWINGS S-100&S-200 FOR ADDITIONAL INFORMATION
- ELECTRICAL PANEL - TO BE REPLACED

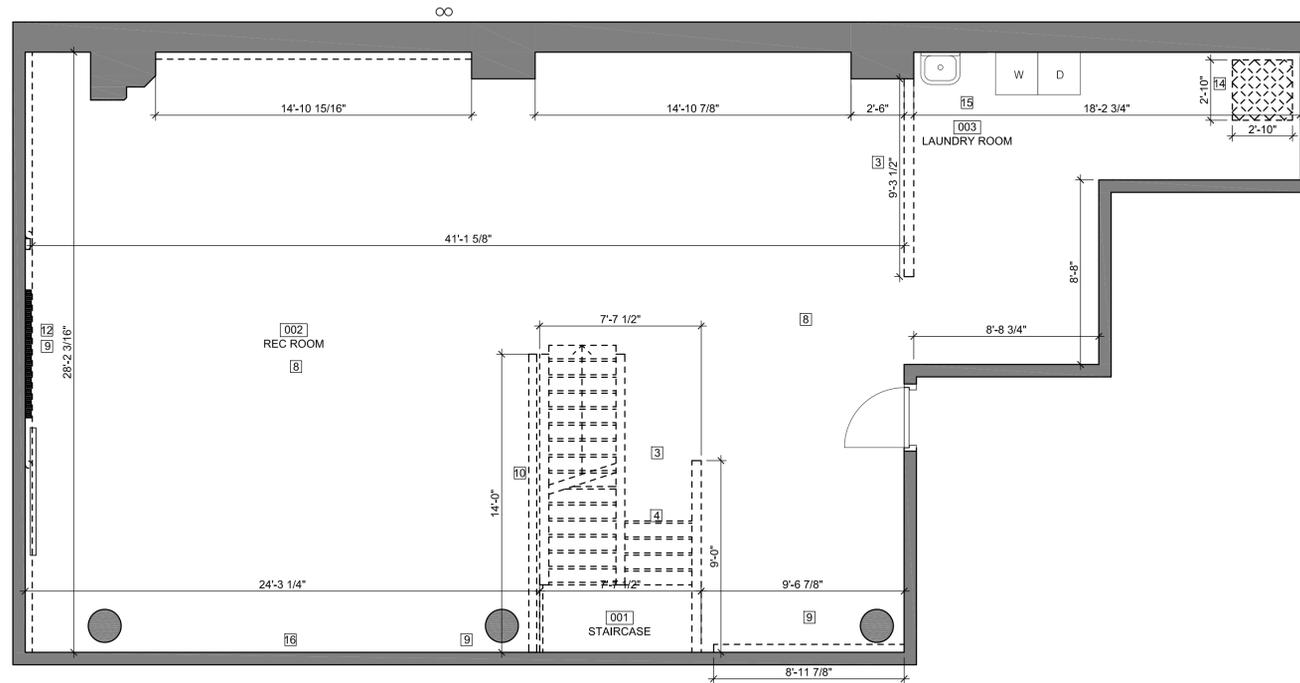
DWG. TITLE: **GROUND FLOOR DEMOLITION PLAN**

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
JOB No.:	15.009
DWG No.:	DM-100.00

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1 CELLAR DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION/ALTERATION NOTES:

1. THE CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS AS REQUIRED TO COMPLETE DEMOLITION & REMOVAL OF ALL ITEMS INDICATED ON THE DRAWINGS.
2. PREMISES SHALL BE SWEEPED WITH SWEEPING COMPOUND AND / OR VACUUMED DAILY.
3. CONTRACTOR TO PROVIDE PROTECTION FOR ALL SHARED BUILDING CORRIDORS, HALLS, & ELEVATORS FROM DUST, DEBRIS AND DAMAGES DURING DEMOLITION AS REQUIRED BY BUILDING MANAGEMENT AND ARCHITECT. CONTRACTOR TO CLEAN SPACES ON A DAILY BASIS; CONTRACTOR WILL BE RESPONSIBLE TO REFINISH/REPAIR ANY DAMAGES AT NO EXPENSE TO OWNER / ARCH.
4. CONTRACTOR TO OBSERVE ALL SAFETY PRECAUTIONS AS REQUIRED BY CODE AND ABIDE BY ALL REGULATIONS AS PER THE BUILDING ALTERATION AGREEMENT.
5. ARCHITECT TO DISCONNECT EXISTING ELECTRICAL AND PLUMBING SERVICE LINES. SEAL OR CAP AS REQUIRED BEFORE STARTING DEMOLITION OPERATIONS; WORK TO BE COORDINATED WITH BUILDING SUPERINTENDENT.
6. CONTRACTOR TO COORDINATE & SECURE APPROVAL WITH BUILDING MANAGEMENT FOR ALL BUILDING SERVICE RELATED WORK AND SCHEDULE USE OF ELEVATOR REQUIRED FOR DEMOLITION.
7. IN ALL AREAS WHERE DEMOLITION OF WALLS AND FLOOR CAUSES AN UNEVENNESS IN FLOORS, THE CONTRACTOR SHALL LEVEL & PATCH THE FLOOR.
- 7A. NO UTILITY, PIPING OR CONDUIT SERVING ANY OTHER APARTMENT OR ANY UTILITY RISER MAY BE MODIFIED, ADDED TO OR RELOCATED EXCEPT AND UNLESS SPECIFICALLY NOTED ON THE DRAWINGS AND ONLY AFTER BUILDING MANAGEMENT / SUPERINTENDENT'S REVIEW.
8. ALL EXPOSED LIGHT FIXTURES, WIRING, ELECTRICAL PANEL & METAL MOLDINGS NOT TO BE REUSED SHALL BE CARTED AWAY BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH PARTITIONS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION & CONSTRUCTION ARE IN PROGRESS.
10. THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION AS REQUIRED.
11. PROTECT ALL RADIATOR WITH HEAT RESISTANT BLANKET.
12. CONTRACTOR TO BE RESPONSIBLE TO FIRESTOP ALL FLOORING/CEILING AND ANY OTHER OPENINGS OR

PENETRATIONS

13. ALL EXISTING WALLS REMAINING TO BE PATCHED, SKIMMED AND REFINISHED - LEVEL 4 UNLESS OTHERWISE NOTED. ANY EXISTING OPENINGS EXPOSED DURING DEMOLITION SHALL BE FIRESTOPPED TEMPORARILY ON THE SAME DAY UNCOVERED
14. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE IS PERMITTED.
15. THE PLUMBING SUBCONTRACTOR SHALL PROPERLY CAP ALL PLUMBING LINES WHERE FIXTURES ARE REMOVED AT THE RISER.
16. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A WRITTEN SCHEDULE & SEQUENCE OF THE DEMOLITION.
17. UPON COMPLETION OF DEMOLITION WORK, THE CONTRACTOR SHALL PROVIDE THAT ALL AREAS ARE TO BE LEFT BROOM CLEAN.
18. GC TO PROVIDE CERTIFICATION THAT EXISTING FINISHES DO NOT CONTAIN LEAD OR ASBESTOS PRIOR TO THE START OF DEMOLITION. IF THESE SUBSTANCES ARE PRESENT, REMOVAL AND DISPOSAL OF PARTITIONS IS TO COMPLY WITH CURRENT EPA REGULATIONS. CONTRACTORS MUST BE CERTIFIED AS REQUIRED BY EPA.
19. DEMOLITION AND DEBRIS REMOVAL TO BE COORDINATED WITH THE BUILDING SUPERINTENDENT, BUILDING MANAGEMENT, AND THE BOARD. ALL DEMOLITION AND DISPOSAL METHODS SHALL COMPLY WITH STATE AND LOCAL CODES AND REGULATIONS. DEBRIS WILL BE REMOVED FROM THE PREMISES ON A DAILY BASIS. NO DEBRIS OF ANY KIND MAY BE LEFT ON THE SIDEWALK, LOBBY OR COMMON AREAS FOR LATER PICK UP.
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KEYNOTES

- 1 REMOVE FLOOR SLAB TO ACCOMMODATE FLOOR STRUCTURAL GLAZING - REFER TO STRUCTURAL ENGINEER'S DRAWINGS S-100&S-200 FOR ADDITIONAL INFORMATION
- 2 REMOVE MILLWORK & FIXTURES
- 3 REMOVE NON LOAD-BEARING PARTITIONS, DOORS & FRAMES
- 4 REMOVE EXISTING STAIRCASE
- 5 REMOVE ALL PLUMBING FIXTURES AND FITTINGS, REMOVE BRANCH PIPING TO FITTINGS AT RISERS OR EXISTING SHUT-OFF VALVE; CAP ALL BRANCH LINES UNTIL NEW WORK IS IN PLACE
- 6 REMOVE ALL WALL /FLOOR TILES AND FINISHES IN THE SHOWER AREA
- 7 REMOVE EXISTING RADIATORS AND PIPING BACK TO RISER, PROTECT RISER DURING CONSTRUCTION
- 8 REMOVE EXISTING LIGHTING FIXTURES
- 9 REMOVE GWB WALL BUILD-OUT
- 10 REMOVE NON STRUCTURAL STEEL BEAM.
- 11 ENLARGE WINDOW OPENINGS VERTICALLY AND INSTALL NEW WINDOWS TO MATCH EXISTING; SEE ELEVATION A-305/A-306 FOR REFERENCE
- 12 DEMO EXISTING RADIATOR AND PIPING. RADIATOR TO BE RELOCATED
- 13 NOT USED
- 14 EXCAVATION OF CELLAR FLOOR TO ACCOMMODATE NEW SEWAGE PUMP. DIMENSION T.B.C.; INSTALLATION AS PER MANUFACTURER'S REQUIREMENTS. SEE P-003.00 DWG FOR REFERENCE.
- 15 EXISTING SINK AND APPLIANCES TO REMAIN.
- 16 REMOVE DOUBLE LAYER OF EXISTING WALL 12" UP FROM EXISING FLOOR ALONG ENTIRE EAST WALL. REPLACE W/ NEW OR SIMILAR.

LEGEND

- EXISTING WALLS
- TO BE REMOVED - AS NOTED
- FLOOR SLAB TO BE REMOVED - REFER TO STRUCTURAL ENGINEER'S DRAWINGS S-100&S-200 FOR ADDITIONAL INFORMATION
- ELECTRICAL PANEL - TO BE REPLACED

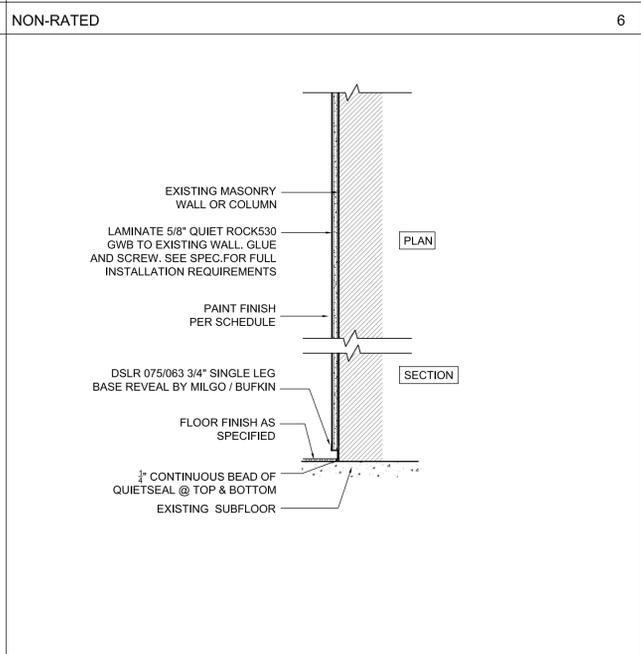
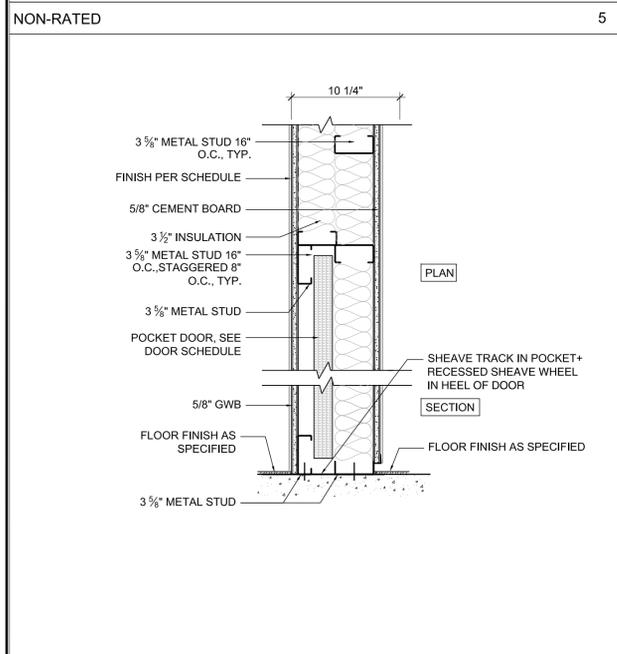
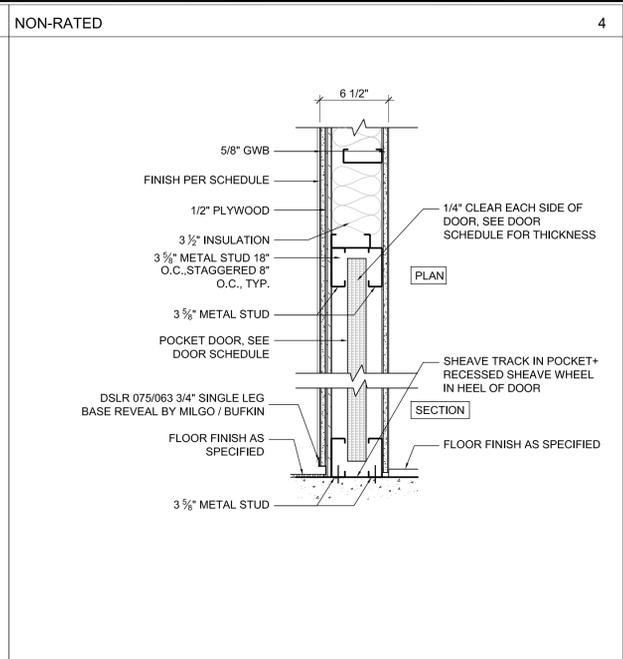
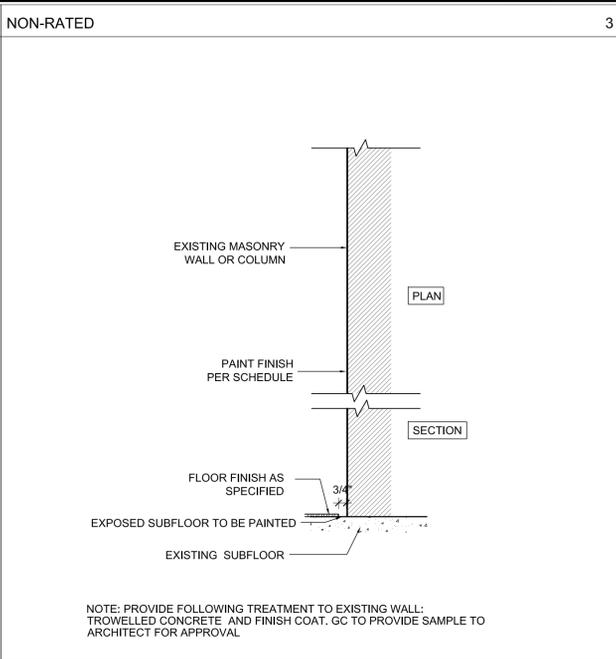
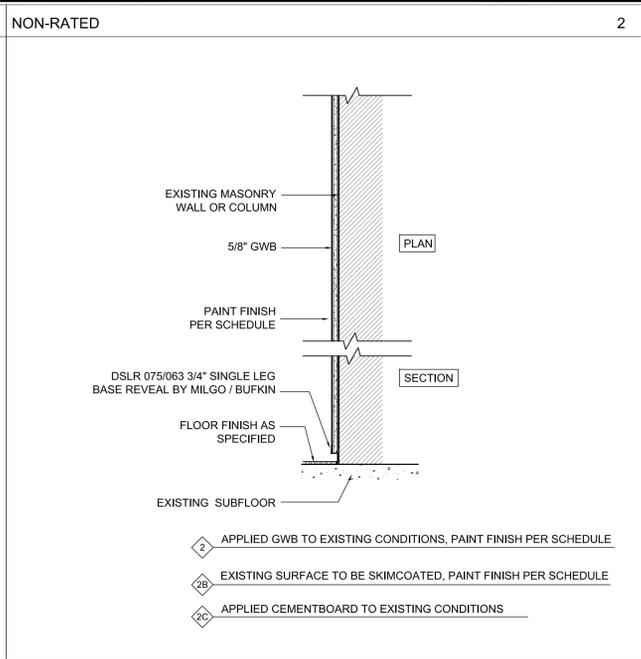
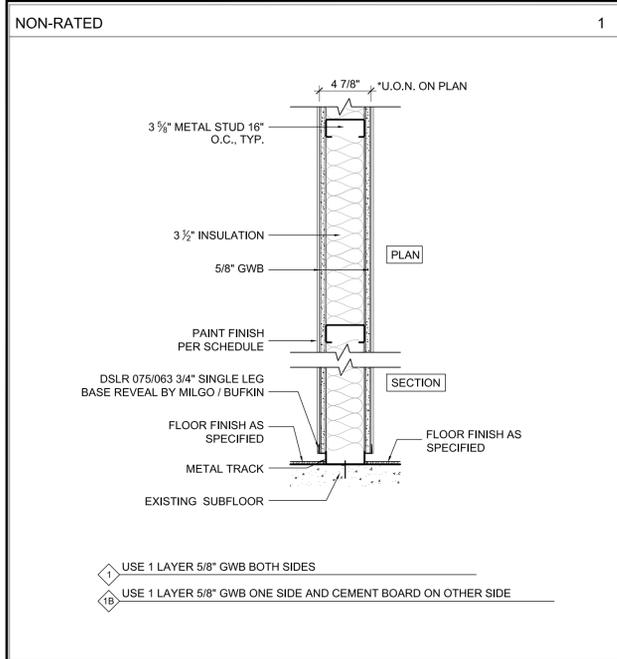
REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D'A
05/24/16	03	LPC SUBMISSION	D'A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D'A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A

DWG. TITLE:

**CELLAR
DEMOLITION PLAN**

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
JOB No.:	15.009
DWG No.	DM-101.00



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05/13/16	02	BUILDING MANAGEMENT REVIEW	D'A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A

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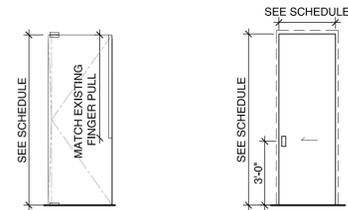
PARTITION TYPES

DRAWN: BL
CHECKED: AC/PB
SCALE: AS NOTED
DATE: 06.18.14
JOB No.: 15.009
DWG No.

A-001.00

FLOOR/LOCATION	DOOR NO.	WIDTH/HEIGHT	DOOR TYPE	FINISH	LEVER AND LOCKSET FUNCTION	HINGE/HARDWARE	FRAME FINISH	REMARKS
100 FOYER	01	5'-0" X 7'-11"	-	PNT-4	EXISTING	EXISTING	PNT-4	FINISHES AT HALLWAY SIDE OF DOOR TO REMAIN; NEW FINISHES AT INTERIOR APARTMENT ONLY
105 GUEST BEDROOM	02	2'-8" X 7'-11"	-	PNT-3	EXISTING	EXISTING	NO FRAME	TO BE REFINISHED
100 FOYER CLOSET	03	3'-0" X 7'-11"	-	PNT-3	EXISTING	EXISTING	NO FRAME	TO BE REFINISHED
106 POWDER ROOM	04	3'-0" X 7'-11"	-	PNT-3	EXISTING	EXISTING	NO FRAME	TO BE REFINISHED
109 MASTER BEDROOM	05	3'-9" X 7'-11"	-	PNT-3	EXISTING	EXISTING	NO FRAME	TO BE REFINISHED
112 MASTER BATHROOM	06	2'-8" X 7'-11"	-	PNT-3	EXISTING	EXISTING	NO FRAME	TO BE REFINISHED
008 CLOSET	07	2'-6" X 7'-11"	A	PNT-4	PASSAGE SET	PIVOT HINGE	NO FRAME	
ENTRY DOORS	08	2'-10" X 7'-11"	-	PNT-4	PRIVACY SET	TBD	PNT-4	FINISHES AT HALLWAY SIDE OF DOOR TO REMAIN; NEW FINISHES AT INTERIOR APARTMENT ONLY
002 LAUNDRY	08B	5'-6" X 7'-11"	-	PNT-4	N/A	HAFELE HAWA JUNIOR 120		PANEL IS ROUTED OUT AT DOOR HANDLE HGT TO FIT AROUND EXISTING DOOR 008 HANDLE & HARDWARE
ENTRY-POWDER ROOM	09	4'-1 1/2" X 7'-11"	B	PNT-4	PASSAGE SET	HAFELE HAWA JUNIOR 120	NO FRAME	SLIDING DOOR
001 POWDER ROOM	10	2'-8" X 7'-11"	A	PNT-4	PRIVACY SET	PIVOT HINGE	NO FRAME	
002 LAUNDRY	11	2'-10 3/4" X 7'-11"	B	PNT-4	PASSAGE SET	HAFELE HAWA JUNIOR 120	NO FRAME	SLIDING DOOR
002 LAUNDRY	12	2'-10" X 7'-11"	-	PNT-4	PASSAGE SET	PIVOT HINGE	NO FRAME	NEW DOOR

NOTE:
 1. ALL DIMENSIONS TO BE V.I.F. AND COORDINATED WITH ARCHITECT THRU SHOP DRAWINGS. CHECK PLANS FOR DIRECTION OF DOOR SWING.
 2. FOR TYPE A DOORS, PROVIDE CONTINUOUS COUNTER SUNK OPENINGS FOR MECHANICALLY FASTENING JAMBS & HEADER TO BLOCKING, ALLOW 4 PER JAMB AND 2 PER HEADER; PLUG & FINISH TO MATCH, TYP.
 3. ALL KEYED LOCKS TO HAVE SINGLE UNIVERSAL KEY



TYPE A
 DOOR : SOLID CORE WOOD
 -FINISH: SEE SCHEDULE

TYPE B
 DOOR : WOOD SLIDING POCKET DOOR
 -FINISH: SEE SCHEDULE

FRAME : NONE

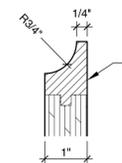
HARDWARE :
 - (2) IVES OFFSET HUNG PIVOT 7226 - FINISH US26D
 - (2) IVES ROLLER LATCH / ANGLE STOP RL1152 - FINISH US26D
 -BALDWIN ESTATE 5055 KNOB IN SATIN BLACK (WITH ROSE 5032) (ONLY ON ONE SIDE)
 -BALDWIN 6760 TURN PIECE IN SATIN BLACK (MODEL #6760.190) (FINGER PULL ON ONE SIDE-HARDWARE ON THE OTHER)

FRAME : NONE

HARDWARE :
 HAFELE HAWA JUNIOR 120/B SLIDING DOOR TRACK;
 -8601 POCKET DOOR MORTISE LOCK (SATIN BLACK)
 -PD005 LARGE SANTA MONICA POCKET DOOR PULL (SATIN BLACK)

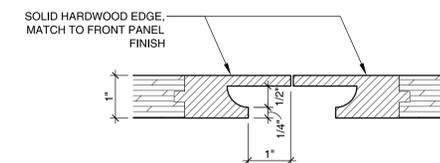
DOOR TYPES

SCALE 1/4" = 1'-0"



A TOP/BOTTOM PULL FOR 1" DOOR, TYP.

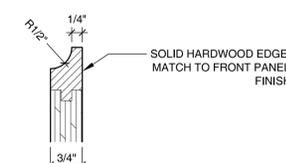
SCALE 6" = 1'-0"



B CLOSET PULL, TYP.

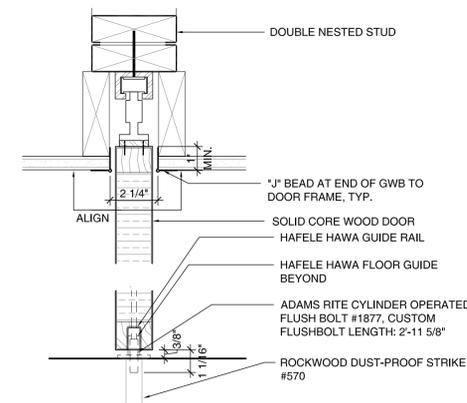
SCALE 6" = 1'-0"

NOTE : HEIGHT DIMENSION 3", TYP.



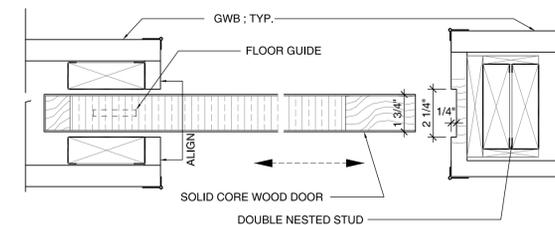
C TOP/BOTTOM PULL FOR 3/4" DOOR, TYP.

SCALE 6" = 1'-0"



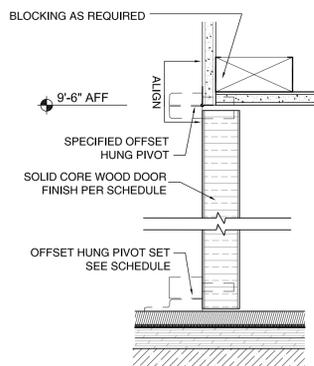
1 TYPE E JAMB HEADER DETAIL

SCALE: 3" = 1'-0"



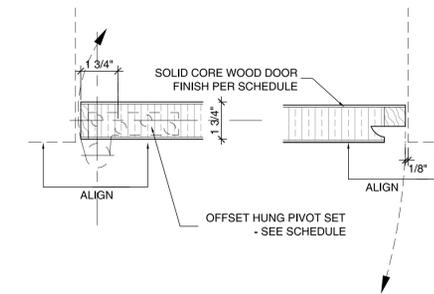
2 FRAMING DETAILS FOR TYPE E

SCALE: 3" = 1'-0"



3 TYPE B JAMB HEADER DETAIL

SCALE: 3" = 1'-0"



4 TYPE B JAMB PLAN DETAIL

SCALE: 3" = 1'-0"

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

DWG. TITLE:
DOORS SCHEDULE & DETAILS

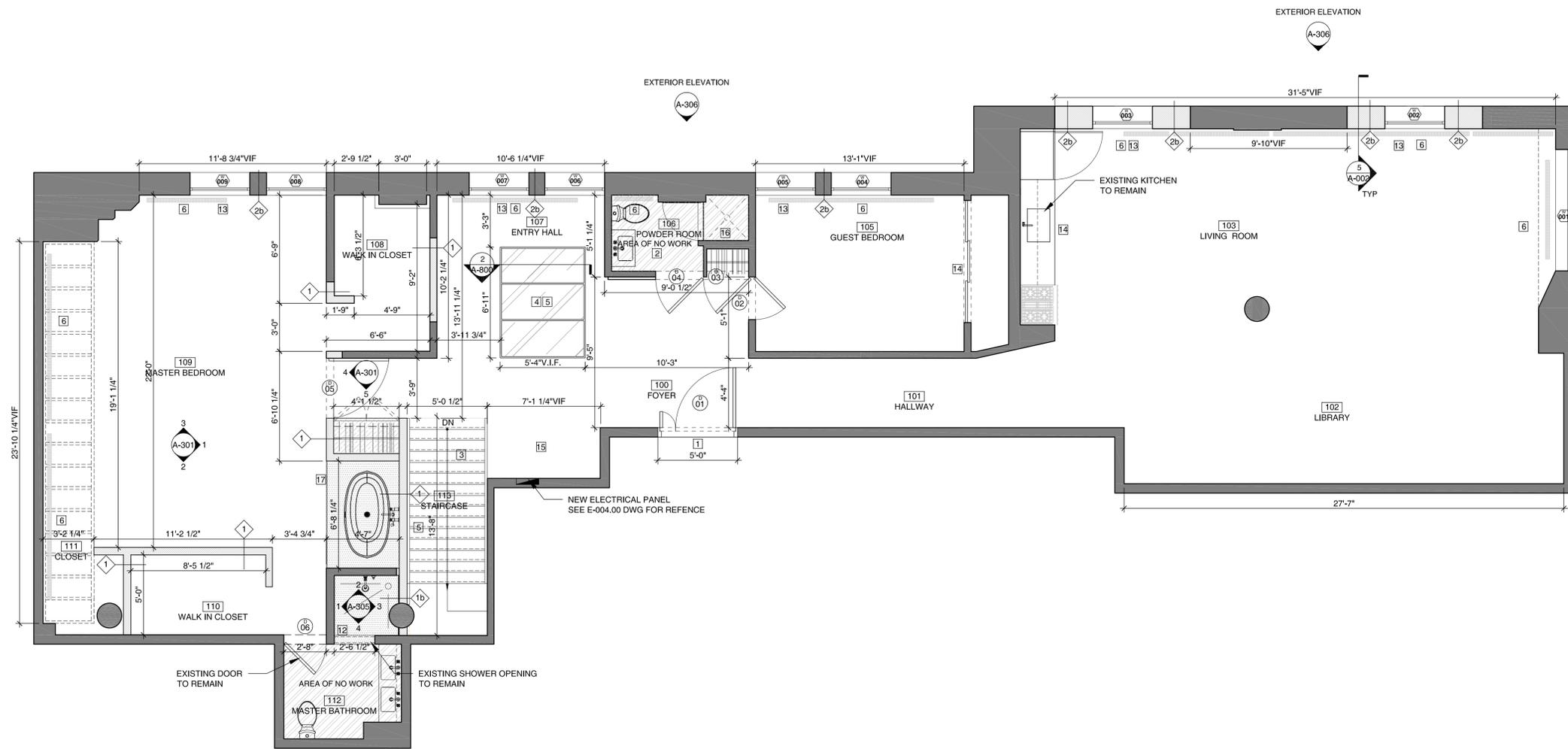
DRAWN: BL
 CHECKED: AC/PB
 SCALE: AS NOTED
 DATE: 06.18.14
 JOB No.: 15.009
 DWG No.:

A-002.00

**DE CAESTECKER/MALLE
 RESIDENCE
 140 PERRY ST. 1W
 NEW YORK, NY10014**

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A



1 CONSTRUCTION PLAN - GROUND FLOOR
 1/4" = 1'-0"

CONSTRUCTION NOTES:

- ALL WORK SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AS INDICATED ON THE CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR AS DETAILED IN THE GENERAL CONDITIONS.
- THE GENERAL CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FOR THE WORK AND PAY ALL AGENCY AND/OR DEPARTMENTAL FEES FOR SAME.
- THE GENERAL CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL ENGINEER OR ARCHITECT TO PERFORM AND FILE ALL CONTROLLED INSPECTIONS REQUIRED BY THE CODE AND/OR AS IDENTIFIED HEREIN.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING DEPARTMENT SIGN-OFFS. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A FINAL CERTIFICATE OF COMPLETION AT THE END OF THE WORK. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL REQUIRED EQUIPMENT USE PERMITS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL FEES RELATED TO ITEMS IDENTIFIED IN NOTES 04 AND 05.
- THESE DRAWINGS SHALL NOT BE SCALED. ALL EXISTING CONDITIONS NOTED HEREIN MUST BE FIELD VERIFIED. WHEN CONDITIONS ON THE SITE ARE FOUND TO BE CONTRADICTORY TO INFORMATION CONTAINED HEREIN, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION WHICH IN THEIR USE, ARE REGULATED BY PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SHALL BE SUBJECT TO THE REQUIREMENTS FOR ACCEPTANCE. PROOF OF CERTIFICATION OF MATERIALS TESTED AND ACCEPTABLE FOR USE, SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO INSTALLATION OR USE.
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- PIPES, WIRES, CONDUITS, DUCTS, OR OTHER SPACE FACILITIES SHALL NOT BE EMBEDDED IN THE REQUIRED FIRE PROTECTION OF A STRUCTURAL MEMBER.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC., SHALL BE FIRE-STOPPED IN ACCORDANCE WITH THE NEW YORK BUILDING CODE.
- CEILINGS TO BE SUSPENDED BY MEANS OF A FRAMING SYSTEM SHALL CONSIST OF SUPPORTING HANGERS, CARRYING CHANNELS AND A SUPPORTING GRID COMPLYING WITH REFERENCE STANDARDS OF THE NEW YORK CITY BUILDING CODE.
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- ALL ABANDONED UTILITIES SHALL BE DISCONNECTED AND CAPPED AT THEIR RESPECTIVE SOURCES, UNLESS NOTED OTHERWISE.
- LATICRETE 9235 OR APPROVED EQUAL WATERPROOFING @ #109 MASTER BEDROOM, #112 MASTER BATHROOM SHOWER, #101 POWDER ROOM, #102 LAUNDRY AND #103 PANTRY. WATERPROOFING @ ALL FLOORING & 12" ABOVE BASE EDGE OF WALLS @ GENERAL LOCATIONS. WATERPROOFING @ ALL FLOORING & WALLS AT SHOWER AND BATHTUB LOCATIONS.
- 2 HR FIRE RATING TO BE MAINTAINED AT ALL DEMISING WALLS
- UPON DEMOLITION OF EXST. WALLS, IF FIRESTOPPING IS NONEXISTING OR INADEQUATE: GC TO PROVIDE FIRESTOPPING @ WALLS. ALL COMMON BUILDING SHAFTS/CHASES TO BE FIRE-STOPPED/BROUGHT UP TO CODE BY BUILDING APPROVED CONTRACTOR. DETAILS TO BE PROVIDED BY BUILDING APPROVED CONSULTANT AND WORK TO BE INSPECTED BY BUILDING ARCHITECT.
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KEY NOTES:

- ENTRY DOOR FRAME TO REMAIN. DOOR SWING FLIPPED, NEW HINGES. FINISHES OF NEW DOOR ON HALLWAY SIDE TO MATCH EXISTING HALLWAY FINISH. PATCH AND PAINT AS SCHEDULED.
- EXISTING BATHROOM FIXTURES TO REMAIN
- NEW STEEL STAIRCASE W/ WOOD STEPS
- NEW FLOOR SKYLIGHT
- NEW SLAB OPENING
- EXISTING RADIATORS TO REMAIN
- EXISTING LAUNDRY APPLIANCES & PLUMBING TO REMAIN. NEW WATERPROOF PAN & ALARM INSTALLED AT WASHER. SEE P-004.00
- INSTALL 3/4" PLYWOOD GROUNDS BETWEEN STUDS 30"-42" HIGH FOR FUTURE ADA GRAB BAR INSTALLATION
- NEW UNDERGROUND PIT FOR SEWAGE PUMP W/ ACCESS PANEL
- EXISTING RADIATOR RELOCATED, SEE M-003.00
- NEW RADIATOR, SEE M-003.00 FOR SPECS
- NEW FLOOR AND WALL TILES, NEW SHOWER CONTROLS SEE FINISH SCHEDULE AND SPECBOOK
- NEW WINDOWS - FOR DIMENSIONS AND SPECS SEE WINDOWS SCHEDULE DWG A-002
- OMISSION OF GUEST BATH
- NO CUT OUT FOR SKYLIGHT
- NO NEW MILLWORK CLOSET: GUEST BATHROOM TO REMAIN.
- SCHLUTER EDGE AT WATERPROOFING TRANSITION

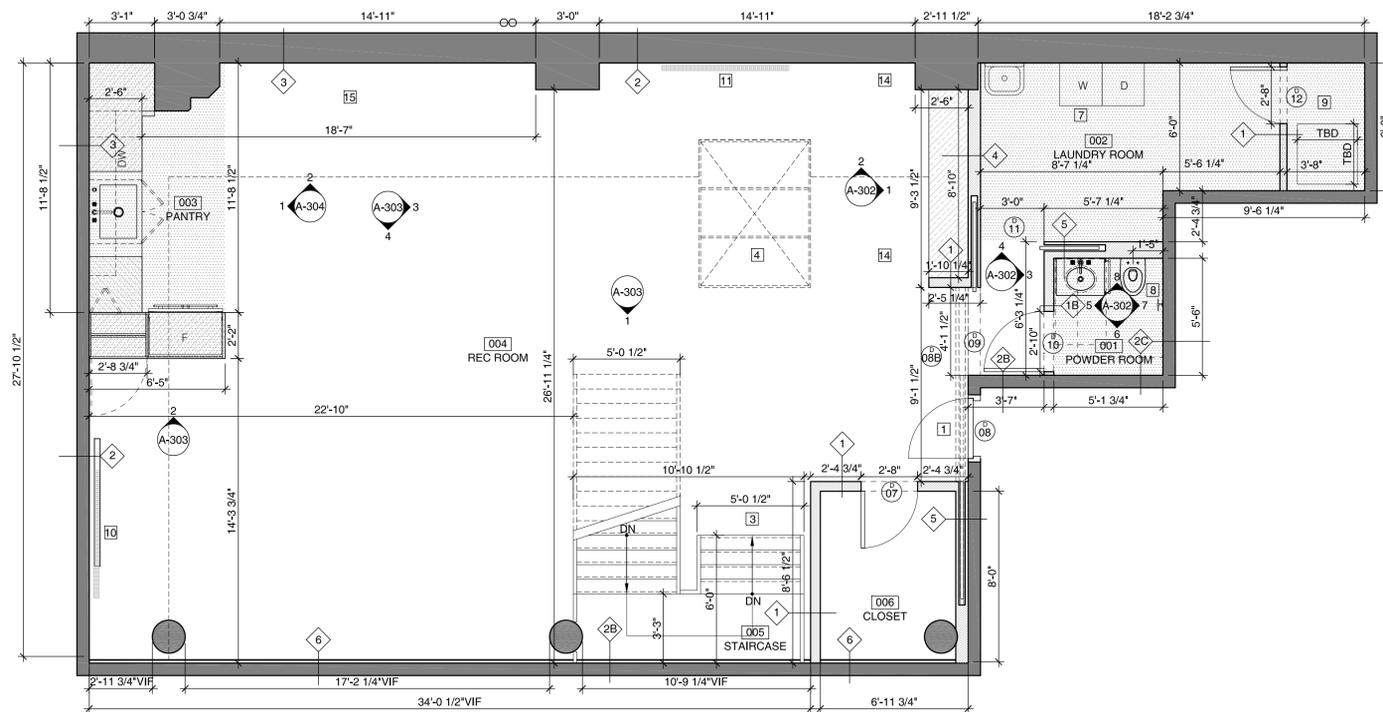
LEGEND

	EXISTING PARTITIONS
	PROPOSED PARTITIONS
	LOCATION OF WATERPROOFING IN WET AREAS - SEE NOTE
	NEW MILLWORK
	EXISTING ELECTRICAL PANEL
	EXISTING PLUMBING / GAS RISER
	EXISTING EXHAUST VENT RISER
	EXISTING IN-WALL AIR HANDLING UNIT
	DOOR TAG - REFER TO A-003.00
	WINDOW NUMBER TAG
	PARTITION TYPE - REFER TO A-001.00 & A-002.00
	ROOM NUMBER ROOM NAME
	AREA OF DETAIL
	ELEVATION MARKER
	SMOKE/CARBON MONOXIDE DETECTOR

DWG. TITLE: **GROUND FLOOR CONSTRUCTION PLAN**

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
JOB No.:	15.009
DWG No.:	A-100.00

**DE CAESTECKER/MALLE
 RESIDENCE
 140 PERRY ST. 1W
 NEW YORK, NY10014**



1 CONSTRUCTION PLAN - CELLAR FLOOR
 1/4" = 1'-0"



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KEY NOTES:

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- NEW UNDERGROUND PIT FOR SEWAGE PUMP W/ ACCESS PANEL
- EXISTING RADIATOR RELOCATED, SEE M-003.00
- NEW RADIATOR, SEE M-003.00 FOR SPECS
- NEW FLOOR AND WALL TILES, NEW SHOWER CONTROLS SEE FINISH SCHEDULE AND SPECBOOK
- NEW WINDOWS - FOR DIMENSIONS AND SPECS SEE WINDOWS SCHEDULE DWG A-002
- NO GLAZING OR METAL FRAME ENCLOSURE; NO WINE STORAGE RACK AT THIS LOCATION. SCOPE REMOVED.
- KITCHEN IN CELLAR REMOVED FROM SCOPE OF WORK. BUTLER'S PANTRY ONLY.

LEGEND

- EXISTING PARTITIONS
- PROPOSED PARTITIONS
- LOCATION OF WATERPROOFING IN WET AREAS - SEE NOTE
- NEW MILLWORK
- EXISTING ELECTRICAL PANEL
- EXISTING PLUMBING / GAS RISER
- EXISTING EXHAUST VENT RISER
- EXISTING IN-WALL AIR HANDLING UNIT
- DOOR TAG - REFER TO A-003.00
- WINDOW NUMBER TAG
- PARTITION TYPE - REFER TO A-001.00 & A-002.00
- ROOM NUMBER ROOM NAME
- AREA OF DETAIL
- ELEVATION MARKER
- SMOKE/CARBON MONOXIDE DETECTOR

REVISIONS

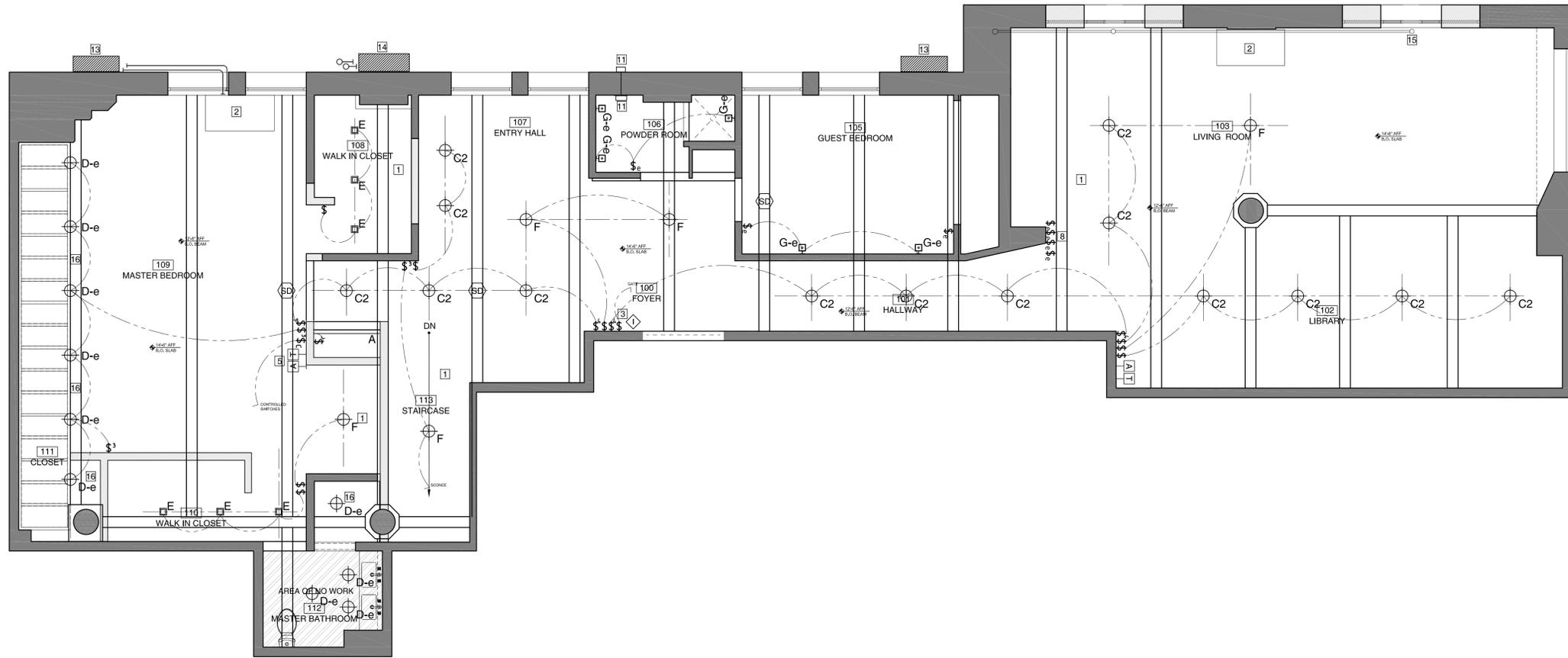
DATE	NO.	REVISION	BY
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05/13/16	02	BUILDING MANAGEMENT REVIEW	D'A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A

DWG. TITLE:

**CELLAR
 CONSTRUCTION PLAN**

DRAWN: BL
 CHECKED: AC/PB
 SCALE: AS NOTED
 DATE: 06.18.14
 JOB No.: 15.009
 DWG No.

A-101.00



LEGEND:

- 10'-0" AFF CEILING HEIGHT ABOVE FINISHED FLOOR
- \$e EXISTING WALL SWITCH
- \$ WALL SWITCH (DIMMABLE)
- \$3 3-WAY WALL SWITCH (DIMMABLE)
- \$4 4-WAY WALL SWITCH (DIMMABLE)
- \$' JAMB CONTACT SWITCH
- [K] KEYPAD
- [A] AC SPLIT UNIT THERMOSTAT
- [T] REMOTE THERMOSTAT W/ SENSOR IN ROOM
- A LINEAR LED LIGHT
- B RECESSED LIGHT (WET LOCATION)
- C1 RECESSED LIGHT
- C2 CEILING MOUNTED LIGHT
- D-e CEILING MOUNTED LIGHT (existing)
- E CEILING MOUNTED LIGHT
- F PENDANT FIXTURE
- G NOT USED
- G-e WALL MOUNTED FIXTURE (existing)
- H NOT USED
- I FLUORESCENT LIGHT FIXTURE
- SD SMOKE /CO DETECTOR
- CEILING ACCESS PANEL - AHU - BAUCO PLUS II - 18X18 FIN. TO BE PT.D. TO MATCH CEILING FIN.
- WALL / CEILING ACCESS PANEL - BAUCO PLUS II - 10X10 - QTY 10 LOCATION TO BE DETERMINED BY ARCHITECT FINISH TO MATCH CORRESPONDING SURFACE
- HVAC AIR HANDLING UNIT SEE MEP DRAWINGS FOR SPECIFICATIONS
- ◇ INTERCOM SYSTEM

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D'A
05/24/16	03	LPC SUBMISSION	D'A
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02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A

1 GROUND FLOOR RCP

SCALE: 1/4" = 1'-0"

NOTES :

- 1) GC TO COORDINATE WITH A/V CONSULTANT ON CLEARANCE OF CEILING FRAMING TO ACCOMMODATE CEILING MOUNTED A/V DEVICES; GC TO PROVIDE REQD BLOCKING & FRAMING
- 2) ALL CLOSET LIGHTING TO HAVE SENSOR SWITCH; W/ EXCEPTION TO LOCATIONS WHERE SWITCHES ARE SHOWN TYP.
- 3) REFERENCE MILLWORKERS DOCUMENTS FOR POWER & LIGHTING; GC TO COORDINATE MILLWORKER & ELECTRICIAN TO ACCOMMODATE CONCEALED WIRING @ ALL MILLWORK
- 4) ALL CEILING ACCESS PANELS TO BE BAUCO PLUS; USE CEMENT BOARD @ WET LOCATIONS
- 5) ALL EXISTING AND PROPOSED CEILING HEIGHTS TO BE VERIFIED IN FIELD BY GC AND COORDINATED WITH THE ARCHITECT
- 6) PROVIDE LUTRON DIVA DIMMABLE SWITCHES WITH SCREWLESS FACEPLATES THROUGHOUT ALONG WITH CLARO RECEPTACLES WITH SCREWLESS FACEPLATES. COLOR: SNOW WHITE. FINISH: SATIN
- 7) HILTI FIRESTOP PUTTY PAD OR EQUAL PRODUCT TO BE USED FOR ALL SWITCH LOCATIONS @ DEMISING WALLS TO MAINTAIN 2 HOUR FIRE RATING
- 8) CONTRACTOR TO PROVIDE LAMPING (HIGHEST WATTAGE ALLOWED PER FIXTURE SPEC) FOR ALL LIGHTING FIXTURES.
- 9) CONTRACTOR TO PROVIDE ALL REQUIRED TRANSFORMERS, CONNECTION/POWER CABLES AND SENSORS AS REQUIRED FOR ALL LIGHTING FIXTURES
- 10) CONTRACTOR RESPONSIBLE TO PROVIDE COMPATIBLE & APPROPRIATE COUNT OF DIMMER SWITCHES PER LIGHTING FIXTURE SPEC & CIRCUIT LOADS.
- 13) EXISTING SPRINKLER SYSTEM TO REMAIN - NO WORK

- 1 EXISTING LIGHT FIXTURES IN THIS LOCATION TO BE REMOVED
- 2 EXISTING SPLIT SYSTEM UNIT TO REMAIN
- 3 DEDICATED SWITCH FOR EXISTING MOTORIZED GATE IN FRONT OF LIVING ROOM WD1
- 4 DROP CEILING BELOW EXISTING BEAMS
- 5 EXISTING AC UNIT THERMOSTAT AND RADIATOR THERMOSTAT FOR EXISTING UNITS TO BE RELOCATED
- 6 3WAY SWITCH TO CONTROL LIGHT FIXTURES AT STAIRS ON GROUND FLOOR
- 7 NEW AC UNIT THERMOSTAT AND NEW RADIATOR THERMOSTAT-SEE MECHANICAL DRAWINGS FOR SPECS
- 8 CHANGE OUT EXISTING SWITCH PLATE TO NEW STANDARD AT THIS LOCATION. SEE SPEC.
- 9 NEW ELECTRICAL/PLUMBING CONDUIT RUNS -SEE MECHANICAL DRAWINGS
- 10 EXISTING FLUORESCENT LIGHTING FIXTURES TO REMAIN
- 11 NEW DUCT FROM CELLAR CONNECTS TO EXISTING BATHROOM VENT LOCATION, NO NEW EXHAUST PENETRATION.SEE M-003.
- 12 NOT USED
- 13 EXISTING CONDENSING UNIT MOUNTED TO EXTERIOR OF BUILDING.SEE M-003.
- 14 NEW CONDITIONING UNIT.SEE M-003.
- 15 EXISTING SPRINKLERS.SEE SP-002. SPRINKLERS AT SOFFIT TO BE TURNED DOWN. HIDDEN HEADS AT SOFFIT. SEE SP-003.00
- 16 EXISTING LIGHT FIXTURES TO REMAIN. CHANGE OUT BULB TO LED.

LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	MATERIAL/FINISH	LAMP	ACCESSORIES / REMARKS	QTY	HIGH EFFICIENCY
A	LINEAR LED STRIPS	ENV. LIGHTS	SWRF3528-240-REEL	N/A	SOFT WHITE 3000K 6W/LF	AT SHELVING	TBD	YES
B	RECESSED DOWNLIGHTS (WET LOCATION)	DELTA LIGHT	CARREE GT LED 3033S1	WHITE	INCL.1 x POWERLED WHITE 7-10W / CRI>80 / 3000K INCL.1 x REFLECTOR FL-33"	+ GRID IN 1 MOUNTING KIT 75 (OWNER PROVIDED)	2	YES
C1	RECESSED LIGHT	USAI	BeveLED mini Trimless: 2431A - B1 - C -10, LSLA3-8414-M2-30KS-25-IC-1 20V-DIML2	WHITE			10	YES
C2	CEILING MOUNTED LIGHT	ELLIPTIPAR	S122	WHITE	M009 = 9 LEDs @ 700mA (1015 lumens, 21W) 30 = 3000K, 80+ CRI		14	YES
D-e	CEILING MOUNTED LIGHT-EXISTING	TBD	TBD	TBD	TBD	CHANGE OUT BULB TO LED LIGHT	10	NO
E	CEILING MOUNTED LIGHT	DELTA LIGHT	BOXY (251 67 20 B)	BLACK	1 x QPAR51 max.50W	OWNER SUPPLIED	25	YES
F	PENDANT LIGHT	OWNER SUPPLIED	OWNER SUPPLIED	OWNER SUPPLIED	100-500W	OWNER SUPPLIED	7	NO
G-e	WALL MOUNTED FIXTURE-EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	5	NO
G	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	0	NA
H	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	0	YES
I	FLUORESCENT LIGHT FIXTURE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	2	NO
J	NEW LINEAR FLUORESCENT LIGHT FIXTURE		ADJ 2431 LED 2431-B1-C-10	WHITE	20W - 80CRI-3000K	LAUNDRY & MECHANICAL ROOM	1	YES

NOTES:
EFFICIENCY REQUIREMENT: 75% OF PERMANENTLY INSTALLED LAMPS ARE OF HIGH EFFICACY
HIGH EFFICIENCY TOTAL: 62
NON HIGH EFFICIENCY TOTAL: 33
LIGHT FIXTURE TOTAL: 19
*SCHEDULE IS INCLUDED ON ALL PAGES AND INCLUDES TOTAL FIXTURES ON ALL FLOORS

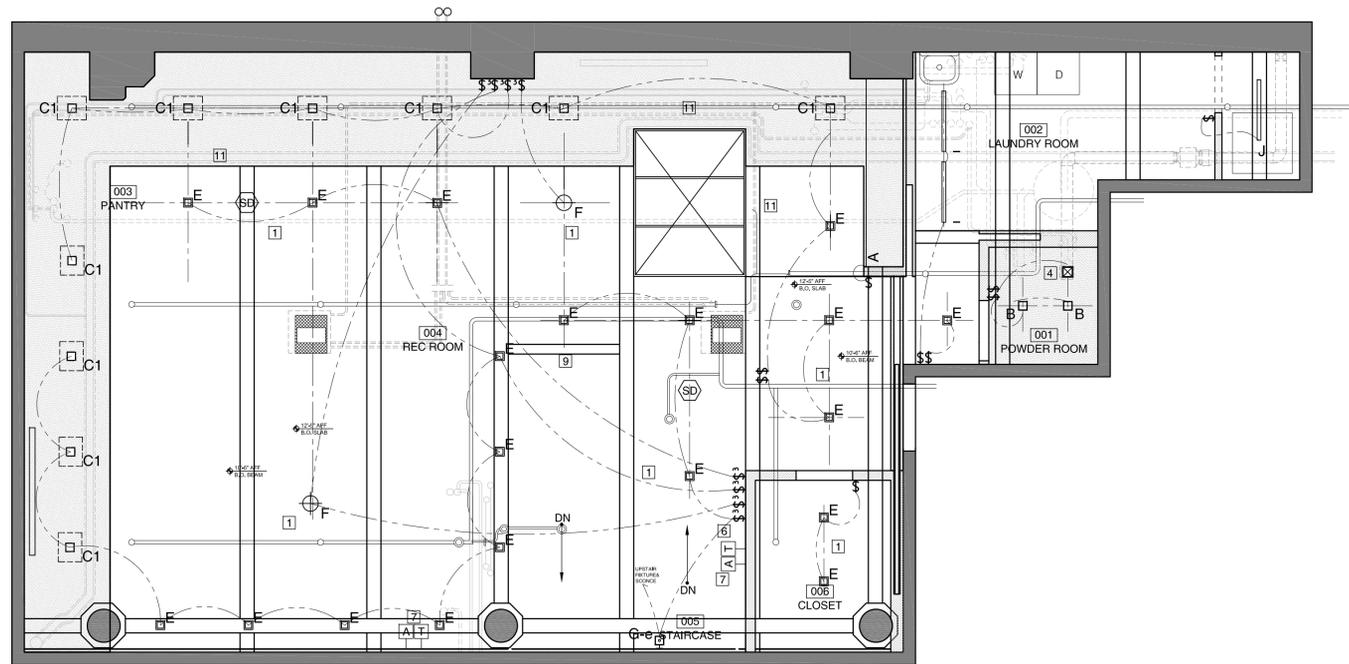
DWG. TITLE:
RCP GROUND FLOOR

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
JOB No.:	15.009
DWG No.	A-110.00

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**DE CAESTECKER/MALLE
RESIDENCE**
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NEW YORK, NY10014



LEGEND:

- 10'-0" AFF. CEILING HEIGHT ABOVE FINISHED FLOOR
- ⌘ EXISTING WALL SWITCH
- ⌘ WALL SWITCH (DIMMABLE)
- ⌘ 3-WAY WALL SWITCH (DIMMABLE)
- ⌘ 4-WAY WALL SWITCH (DIMMABLE)
- ⌘ JAMB CONTACT SWITCH
- ⌘ KEYPAD
- ⌘ AC SPLIT UNIT THERMOSTAT
- ⌘ REMOTE THERMOSTAT W/ SENSOR IN ROOM
- LINEAR LED LIGHT
- ⌘ RECESSED LIGHT (WET LOCATION)
- ⌘ RECESSED LIGHT
- ⌘ CEILING MOUNTED LIGHT
- ⌘ CEILING MOUNTED LIGHT (existing)
- ⌘ CEILING MOUNTED LIGHT
- ⌘ PENDANT FIXTURE
- ⌘ NOT USED
- ⌘ WALL MOUNTED FIXTURE (existing)
- ⌘ NOT USED
- FLUORESCENT LIGHT FIXTURE
- ⌘ SMOKE /CO DETECTOR
- ⌘ CEILING ACCESS PANEL - AHU - BAUCO PLUS ii - 18X18 FIN. TO BE PTD. TO MATCH CEILING FIN.
- ⌘ WALL / CEILING ACCESS PANEL - BAUCO PLUS ii - 10X10 - QTY 10 LOCATION TO BE DETERMINED BY ARCHITECT FINISH TO MATCH CORRESPONDING SURFACE
- ⌘ HVAC AIR HANDLING UNIT SEE MEP DRAWINGS FOR SPECIFICATIONS
- ⌘ INTERCOM SYSTEM

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

2 BASEMENT FLOOR RCP

SCALE: 1/4" = 1'-0"

NOTES :

- 1) GC TO COORDINATE WITH A/V CONSULTANT ON CLEARANCE OF CEILING FRAMING TO ACCOMMODATE CEILING MOUNTED A/V DEVICES; GC TO PROVIDE REQ'D BLOCKING & FRAMING
- 2) ALL CLOSET LIGHTING TO HAVE SENSOR SWITCH; W/ EXCEPTION TO LOCATIONS WHERE SWITCHES ARE SHOWN TYP.
- 3) REFERENCE MILLWORKERS DOCUMENTS FOR POWER & LIGHTING; GC TO COORDINATE MILLWORKER & ELECTRICIAN TO ACCOMMODATE CONCEALED WIRING @ ALL MILLWORK
- 4) ALL CEILING ACCESS PANELS TO BE BAUCO PLUS; USE CEMENT BOARD @ WET LOCATIONS
- 5) ALL EXISTING AND PROPOSED CEILING HEIGHTS TO BE VERIFIED IN FIELD BY GC AND COORDINATED WITH THE ARCHITECT
- 6) PROVIDE LUTRON DIVA DIMMABLE SWITCHES WITH SCREWLESS FACEPLATES THROUGHOUT ALONG WITH CLARO RECEPTACLES WITH SCREWLESS FACEPLATES. COLOR: SNOW WHITE. FINISH: SATIN.
- 7) HILTI FIRESTOP PUTTY PAD OR EQUAL PRODUCT TO BE USED FOR ALL SWITCH LOCATIONS @ DEMISING WALLS TO MAINTAIN 2 HOUR FIRE RATING
- 8) CONTRACTOR TO PROVIDE LAMPING (HIGHEST WATTAGE ALLOWED PER FIXTURE SPEC) FOR ALL LIGHTING FIXTURES.
- 9) CONTRACTOR TO PROVIDE ALL REQUIRED TRANSFORMERS, CONNECTION/POWER CABLES AND SENSORS AS REQUIRED FOR ALL LIGHTING FIXTURES
- 10) CONTRACTOR RESPONSIBLE TO PROVIDE COMPATIBLE & APPROPRIATE COUNT OF DIMMER SWITCHES PER LIGHTING FIXTURE SPEC & CIRCUIT LOADS.
- 13) EXISTING SPRINKLER SYSTEM TO REMAIN - NO WORK

- 1 EXISTING LIGHT FIXTURES IN THIS LOCATION TO BE REMOVED
- 2 EXISTING SPLIT SYSTEM UNIT TO REMAIN
- 3 DEDICATED SWITCH FOR EXISTING MOTORIZED GATE IN FRONT OF LIVING ROOM WD1
- 4 DROP CEILING BELOW EXISTING BEAMS
- 5 EXISTING AC UNIT THERMOSTAT AND RADIATOR THERMOSTAT FOR EXISTING UNITS TO BE RELOCATED
- 6 3WAY SWITCH TO CONTROL LIGHT FIXTURES AT STAIRS ON GROUND FLOOR
- 7 NEW AC UNIT THERMOSTAT AND NEW RADIATOR THERMOSTAT-SEE MECHANICAL DRAWINGS FOR SPECS
- 8 NOT USED
- 9 NEW ELECTRICAL/PLUMBING CONDUIT RUNS -SEE MECHANICAL DRAWINGS
- 10 EXISTING FLUORESCENT LIGHTING FIXTURES TO REMAIN
- 11 NEW DROPPED SOFFIT TO BE BUILT TIGHT TO SKYLIGHT EDGE AND BOTTOM OF PLUMBING PIPES. GC TO COORDINATE.

LIGHTING SCHEDULE

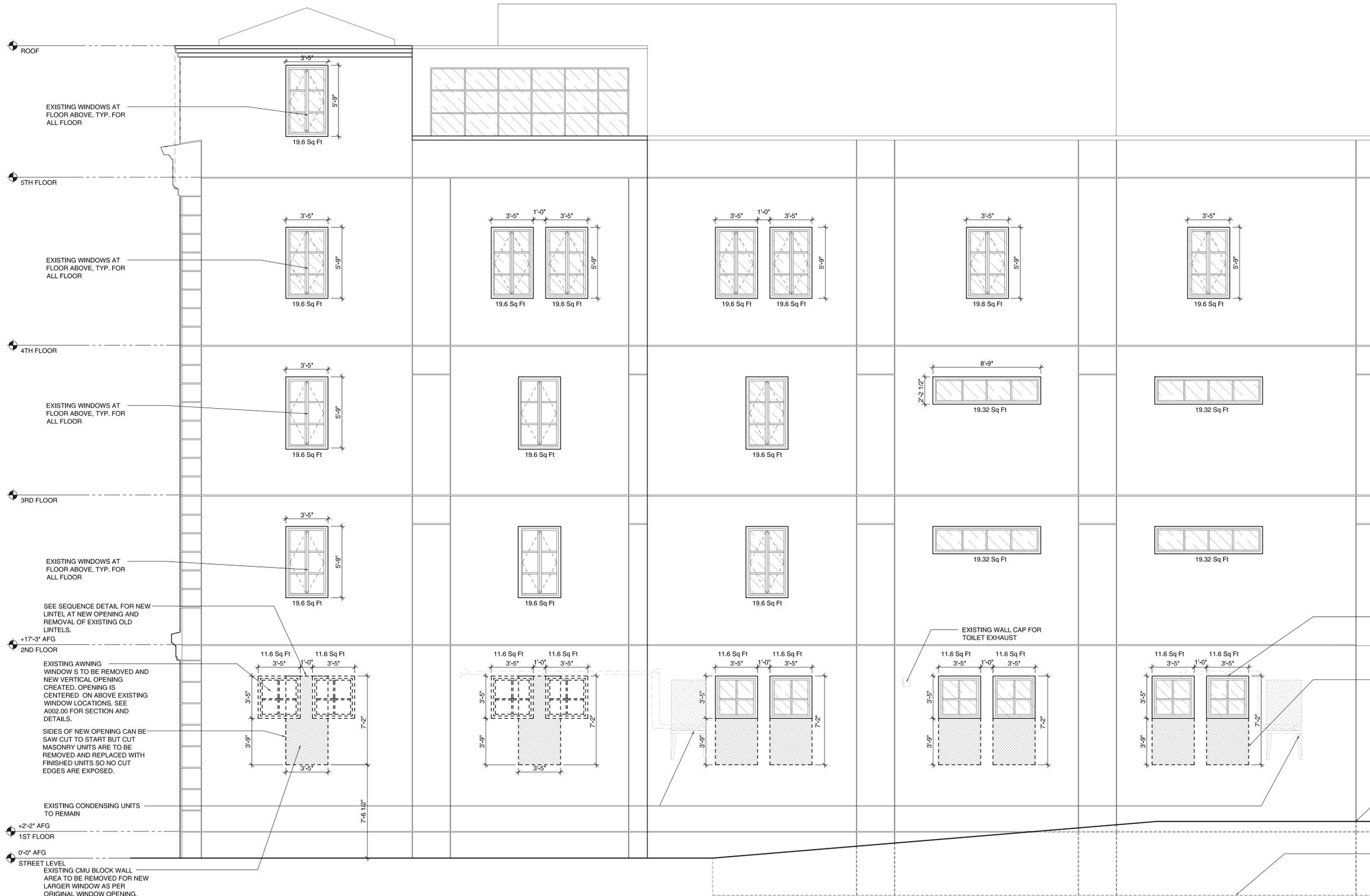
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	MATERIAL/FINISH	LAMP	ACCESSORIES / REMARKS	QTY	HIGH EFFICIENCY
A	LINEAR LED STRIPS	ENV. LIGHTS	SWRF3528-240-REEL	N/A	SOFT WHITE 3000K 6W/LF		TBD	YES
B	RECESSED DOWNLIGHTS (WET LOCATION)	DELTA LIGHT	CARREE GT LED 3033S1	WHITE	INCL.1 x POWERLED WHITE 7-10W / CRI>80 / 3000K INCL.1 x REFLECTOR FL-33"	+ GRID IN 1 MOUNTING KIT 75 (OWNER PROVIDED)	2	YES
C1	RECESSED LIGHT	USAI	BevelLED mini Trimless: 2431A - B1 - C -10, LSLA3-8414-M2-30KS-25-IC-1 20V-DIML2	WHITE			10	YES
C2	CEILING MOUNTED LIGHT	ELLIPTIPAR	S122	WHITE	M009 = 9 LEDs @ 700mA (1015 lumens, 21W) 30 = 3000K, 80+ CRI		14	YES
D-e	CEILING MOUNTED LIGHT-EXISTING	TBD	TBD	TBD	TBD	TBD	3	NO
E	CEILING MOUNTED LIGHT	DELTA LIGHT	BOXY (251 67 20 B)	BLACK	1 x QPAR51 max.50W	OWNER SUPPLIED	22	YES
F	PENDANT LIGHT	OWNER SUPPLIED	OWNER SUPPLIED	OWNER SUPPLIED	100-500W	OWNER SUPPLIED	7	NO
G-e	WALL MOUNTED FIXTURE-EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	5	NO
G	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	0	NA
H	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	0	YES
I	FLUORESCENT LIGHT FIXTURE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	2	NO
J	NEW LINEAR FLUORESCENT LIGHT FIXTURE		ADJ 2431 LED 2431-B1-C-10	WHITE	20W - 80CRI-3000K	LAUNDRY & MECHANICAL ROOM	2	YES

NOTES:
EFFICIENCY REQUIREMENT: 75% OF PERMANENTLY INSTALLED LAMPS ARE OF HIGH EFFICACY
HIGH EFFICIENCY TOTAL: 62
NON HIGH EFFICIENCY TOTAL: 33
LIGHT FIXTURE TOTAL: 19
*SCHEDULE IS INCLUDED ON ALL PAGES AND INCLUDES TOTAL FIXTURES ON ALL FLOORS

DWG. TITLE:
RCP CELLAR FLOOR

DRAWN: BL
CHECKED: AC/PB
SCALE: AS NOTED
DATE: 06.18.14
JOB No.: 15.009
DWG No.
A-111.00

**DE CAESTECKER/MALLE
 RESIDENCE**
 140 PERRY ST. 1W
 NEW YORK, NY 10014



NOTE: THIS FACADE IS VISIBLE FROM PERRY ST. AND WASHINGTON ST.

NOTE: DEMOLITION TOOLS THAT MAY CAUSE VIBRATION TO THE STRUCTURE WILL NOT BE PERMITTED. GC TO SAW CUT AND MANUALLY REMOVE DEBRIS DURING DEMOLITION.

EXISTING NEIGHBORING BUILDING

EXISTING STEEL AWNING WINDOWS TO BE REMOVED AND OPENINGS TO BE ENLARGED VERTICALLY. EXISTING LINTELS TO REMAIN.

EXISTING CMU BLOCK WALL AREA TO BE REMOVED FOR LARGER WINDOW AS PER ORIGINAL WINDOW OPENING. SAW CUT MASONRY UNITS FOR REMOVAL. TOOTH IN ALL NEW VERTICAL EDGES WITH NEW MASONRY; EXPOSED CUT EDGES ARE NOT ALLOWED. NO VIBRATING DEMOLITION TOOLS TO BE USED.

EXISTING OVERPASSING RAMP

EXISTING EXCAVATED SPACE BELOW RAMP

REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

DWG. TITLE:

EXISTING EXTERIOR ELEVATION

DRAWN:	BL
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SCALE:	AS NOTED
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JOB No.:	15.009
DWG No.	

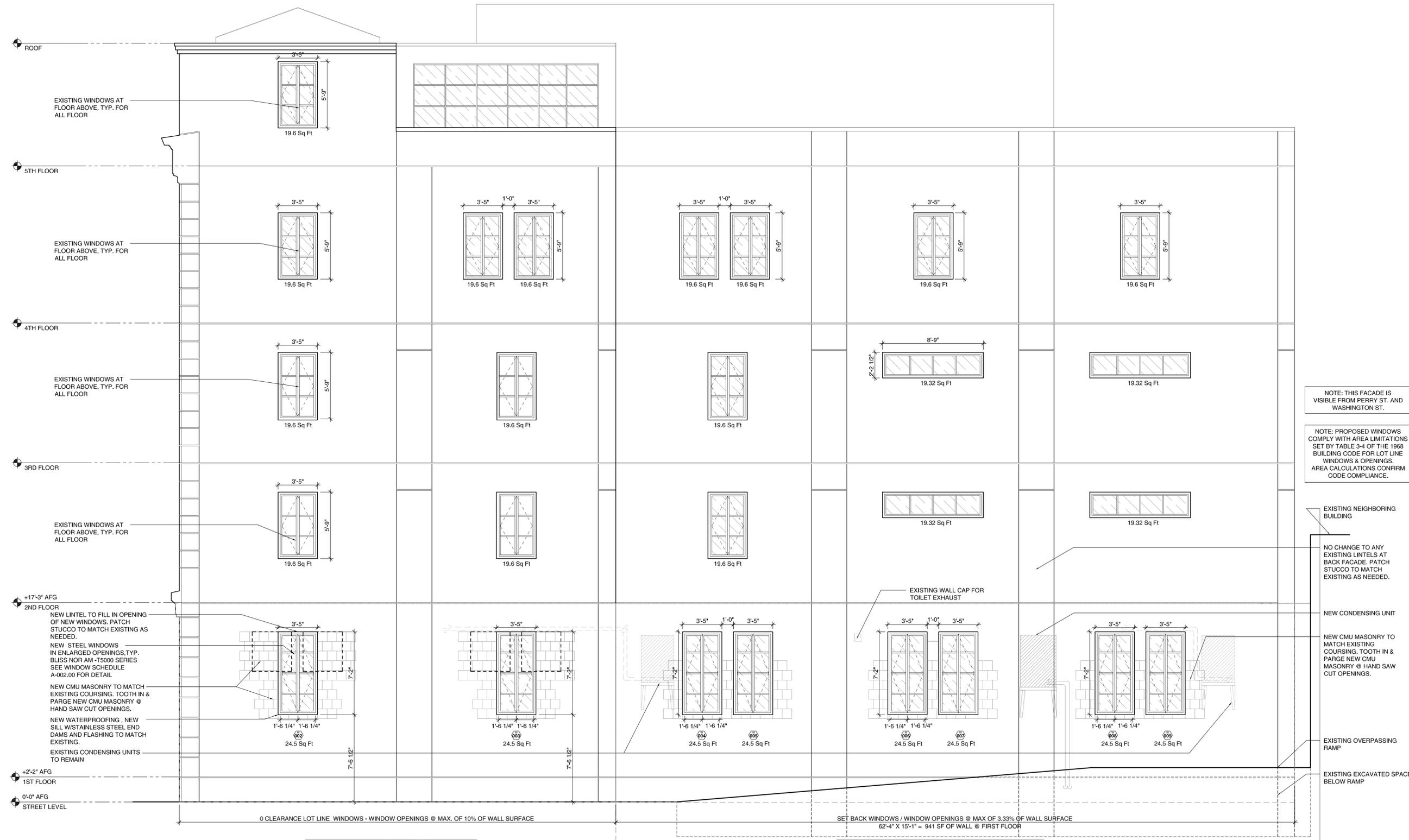
A-306.00

1 EXISTING WEST SIDE ELEVATION
 1/4" = 1'-0"

**DE CAESTECKER/MALLE
 RESIDENCE
 140 PERRY ST. 1W
 NEW YORK, NY10014**

REVISIONS

DATE	NO.	REVISION	BY
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05/13/16	02	BUILDING MANAGEMENT REVIEW	D'A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A



NEW LINTEL TO FILL IN OPENING OF NEW WINDOWS. PATCH STUCCO TO MATCH EXISTING AS NEEDED.
 NEW STEEL WINDOWS IN ENLARGED OPENINGS, TYP. BLISS NOR AM - T5000 SERIES SEE WINDOW SCHEDULE A-002.00 FOR DETAIL
 NEW CMU MASONRY TO MATCH EXISTING COURSING. TOOTH IN & PARGE NEW CMU MASONRY @ HAND SAW CUT OPENINGS.
 NEW WATERPROOFING, NEW SILL W/STAINLESS STEEL END DAMS AND FLASHING TO MATCH EXISTING.
 EXISTING CONDENSING UNITS TO REMAIN

35'-6" X 15'-1" = 535.45 SF
 LENGTH OF WALL X HEIGHT OF FIRST FLOOR = SF
 MAX WINDOW SF = 53.5 SF
 PROPOSED WINDOW TOTAL = 49 SF

0.33 X 4.67' X 941 = 146.48
 3.33% X SETBACK DISTANCE X SF OF WALL SURFACE = MAX SF
 PROPOSED WINDOW TOTAL = 146.48 SF

1 PROPOSED WEST SIDE ELEVATION
 1/4" = 1'-0"

DWG. TITLE:
PROPOSED EXTERIOR ELEVATION

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
JOB No.:	15.009
DWG No.	A-307.00

REVISIONS

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05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

DWG. TITLE:
**EXTERIOR ELEVATION
 VIEWS**

DRAWN: BL
 CHECKED: AC/PB
 SCALE: AS NOTED
 DATE: 06.18.14
 JOB No.: 15.009
 DWG No.
A-308.00



1 PLOT PLAN
 N.T.S. AREA OF WORK:
 apt 1W



1 EXIST. WINDOW SHOWING TYP. EXISTING INFILL CONDITION
 N.T.S.



2 EXISTING CONDITION AT INFILLED WINDOWS #3-4-5-6-7
 N.T.S.



3 EXISTING CONDITION AT INFILLED WINDOWS #3-4-5
 N.T.S.



4 EXISTING CONDITION AT INFILLED WINDOW #2
 N.T.S.



5 EXISTING CONDITION AT INFILLED WINDOWS #4-5
 N.T.S.



6 EXISTING CONDITION AT INFILLED WINDOWS #7-8-9
 N.T.S.



7 EXISTING CONDITION AT INFILLED WINDOWS #8-9
 N.T.S.

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 NEW YORK, NY 10014

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05/24/16	03	LPC SUBMISSION	D'A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D'A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D'A



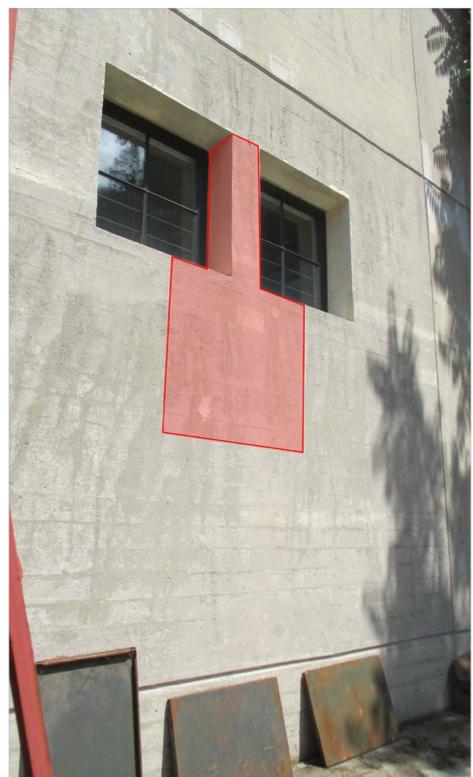
PLOT PLAN
 NTS
 AREA OF WORK:
 apt 1W



1 PORTION OF WALL TO BE REMOVED AT WINDOWS #2-3-4-5-6
 N.T.S



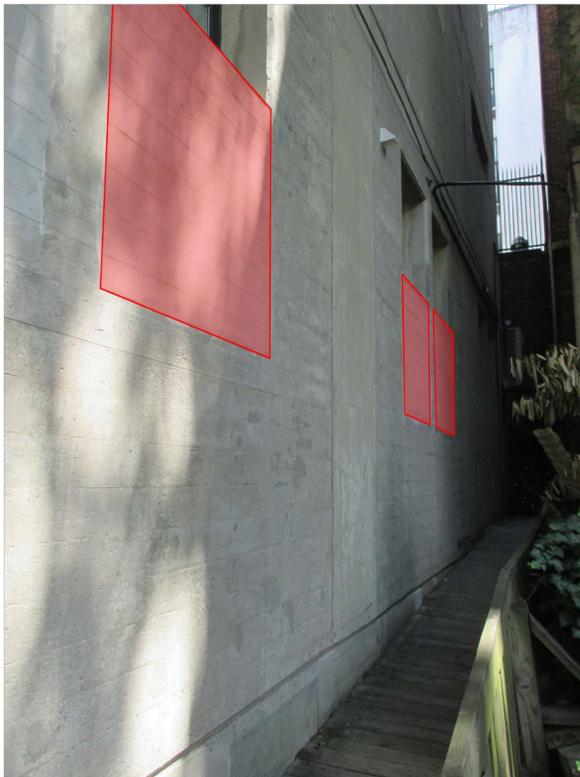
2 PORTION OF WALL TO BE REMOVED AT WINDOWS #3-4-5
 N.T.S



3 PORTION OF WALL TO BE REMOVED AT WINDOWS #2
 N.T.S



4 PORTION OF WALL TO BE REMOVED AT WINDOWS #6-7
 N.T.S



5 PORTION OF WALL TO BE REMOVED AT WINDOWS #7-8-9
 N.T.S



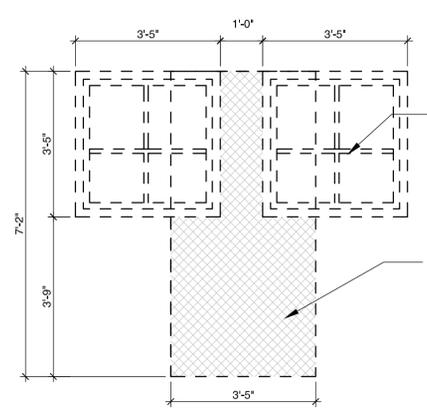
6 PORTION OF WALL TO BE REMOVED AT WINDOWS #8-9
 N.T.S

DWG. TITLE:
**EXTERIOR ELEVATION
 VIEWS**

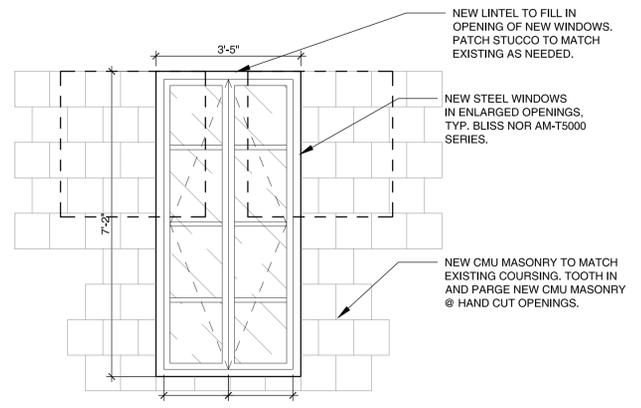
DRAWN: BL
 CHECKED: AC/PB
 SCALE: AS NOTED
 DATE: 06.18.14
 JOB No.: 15.009
 DWG No.
A-309.00

WINDOW SCHEDULE							
FLOOR/LOCATION	WINDOW NO.	WINDOW TYPE	WIDTH/HEIGHT	MATERIAL	FINISH	MANUFACTURER/SERIES	REMARKS
LIVING ROOM #103	001	A	3'-2 7/8" X 5'-8"	SEE NOTE	NO CHANGE TO EXISTING	NO CHANGE TO EXISTING	-
	002	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29
	003	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29
GUEST BEDROOM #105	004	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.
	005	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.
ENTRY HALL #107	006	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.
	007	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.
MASTER BEDROOM #109	008	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.
	009	B	3'-5" X 7'-2"	SEE NOTE	PAINT BLACK	BLISS NOR AM - PRESTIGE 4000 SERIES	U-VALUE 0.29, ADDITIONAL SECURITY ACC.

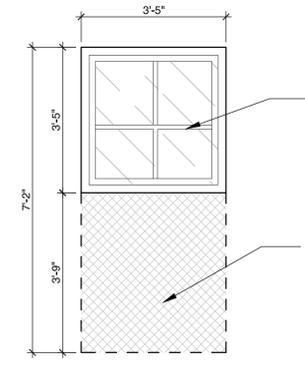
NOTE:
 1. ALL DIMENSIONS TO BE V.I.F. AND COORDINATED WITH ARCHITECT THRU SHOP DRAWINGS.
 2. REF. MANUFACTURER PROPOSAL & COORDINATE SCHEDULES, PLAN W/ A-100.00
 GC TO FOLLOW INSTALLATION INSTRUCTIONS/REQUIREMENTS FROM WINDOW & DOOR MANUFACTURER.
 GC PROVIDE PROPER EXAMINATION OF EXISTING CONDITIONS BEFORE INSTALLING ALL WINDOWS & DOORS.
 A. VERIFICATION OF CONDITIONS: BEFORE INSTALLATION, VERIFY OPENINGS ARE PLUMB, SQUARE AND OF PROPER DIMENSIONS AS REQUIRED. REPORT FRAME DEFECTS OR UNSUITABLE CONDITIONS TO GC/ARCHITECT BEFORE PROCEEDING.
 B. ACCEPTANCE OF CONDITIONS: BEGINNING INSTALLATION CONFIRMS ACCEPTANCE OF EXISTING CONDITIONS.
 INSTALLATION
 A. GC TO ASSEMBLE AND INSTALL WINDOW & DOOR UNITS ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND REVIEWED SHOP DRAWINGS.
 B. FOR WINDOWS: INSTALL SEALANT AND RELATED BACKING MATERIALS AT PERIMETER OR UNIT OR ASSEMBLY IN ACCORDANCE WITH MANUFACTURER RECOMMENDED JOINT SEALANTS. DO NOT USE EXPANDING FOAM SEALANT.
 C. FOR DOORS: SET DOOR SILLS IN FULL BED OF SEALANT; INSTALL BACKING MATERIAL AND SEALANT AT HEAD, SIDE JAMBS, AND SPECIFIED IN INSTALLATION INSTRUCTIONS. DO NOT USE EXPANSIVE FOAM.
 D. INSTALL ACCESSORY ITEMS FOR WINDOWS & DOORS AS REQUIRED.
 E. PROTECT WINDOWS & DOORS FROM DAMAGE BY CHEMICALS, SOLVENTS, PAINT, OR OTHER CONSTRUCTION OPERATIONS THAT MAY CAUSE DAMAGE.



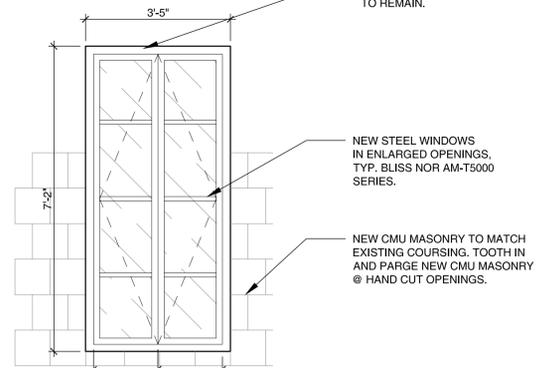
EXISTING WINDOW ELEVATION
 1/2" = 1'-0"



PROPOSED WINDOW ELEVATION
 1/2" = 1'-0"



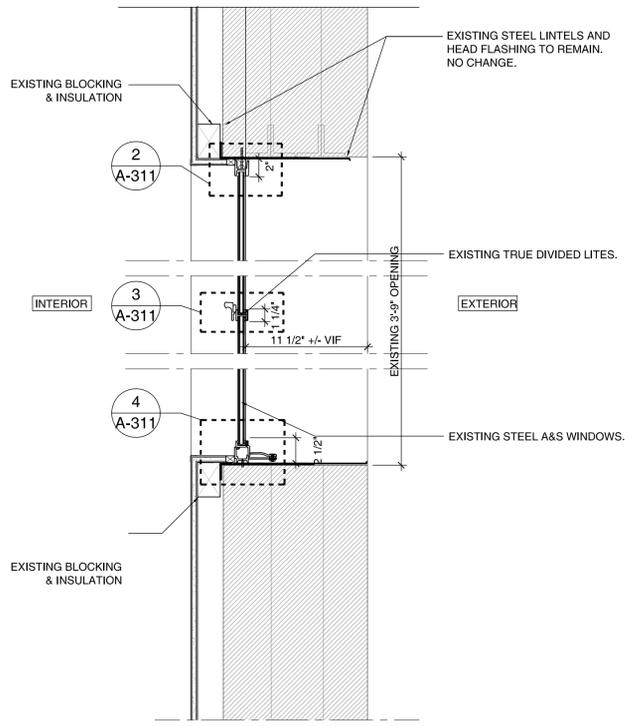
EXISTING WINDOW ELEVATION
 1/2" = 1'-0"



PROPOSED WINDOW ELEVATION
 1/2" = 1'-0"

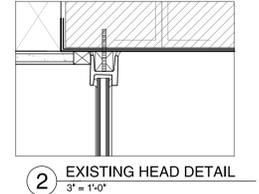
REVISIONS

DATE	NO.	REVISION	BY
07/07/16	04	LPC SUBMISSION	D/A
05/24/16	03	LPC SUBMISSION	D/A
05/13/16	02	BUILDING MANAGEMENT REVIEW	D/A
02/08/16	01	BUILDING MANAGEMENT REVIEW	D/A

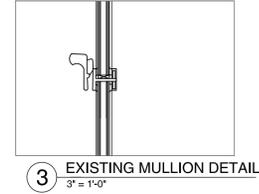


NOTES:
 1. GC TO FOLLOW WINDOW INSTALLATION AND MANUFACTURER'S REQUIREMENTS
 2. ALL EXISTING LINTELS TO REMAIN.

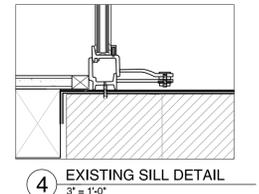
EXISTING WINDOW DETAILS: HEAD, JAMB, SILL
 1-1/2" = 1'-0"



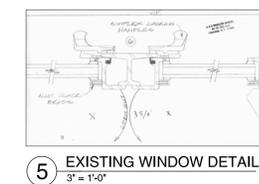
EXISTING HEAD DETAIL
 3" = 1'-0"



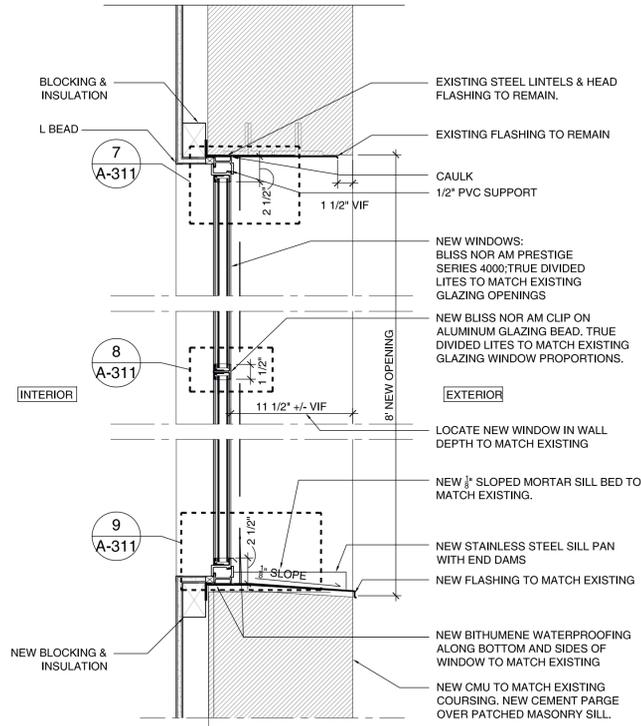
EXISTING MULLION DETAIL
 3" = 1'-0"



EXISTING SILL DETAIL
 3" = 1'-0"

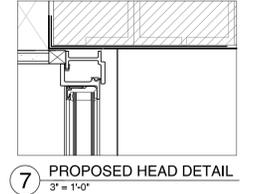


EXISTING WINDOW DETAIL
 3" = 1'-0"

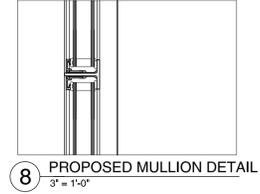


NOTES:
 1. GC TO FOLLOW WINDOW INSTALLATION AND MANUFACTURER'S REQUIREMENTS
 2. ALL EXISTING LINTELS TO REMAIN.

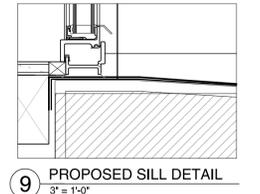
PROPOSED BLISS NOR AM WINDOW DETAILS: HEAD, JAMB, SILL
 1-1/2" = 1'-0"



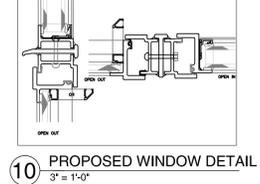
PROPOSED HEAD DETAIL
 3" = 1'-0"



PROPOSED MULLION DETAIL
 3" = 1'-0"



PROPOSED SILL DETAIL
 3" = 1'-0"



PROPOSED WINDOW DETAIL
 3" = 1'-0"

DWG. TITLE: **WINDOW DETAILS**

DRAWN:	BL
CHECKED:	AC/PB
SCALE:	AS NOTED
DATE:	06.18.14
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DWG No.	A-311.00