

NYC VCP Cleanup Plan Available for Review and Comment

Where can I view project documents?

In person at:

Brooklyn Library
Williamsburgh Library
240 Division Avenue
Brooklyn, NY 11211

Please call (718) 302-3485 for hours of operation

and electronically at:

<http://www.nyc.gov/html/oer/html/repository/RBrooklyn.shtml>

Public Comment Period

June 17, 2013
to
July 17, 2013

Whom can I contact for project information?

Zach Schreiber
Project Manager
NYC OER
253 Broadway, 14th Floor
New York, NY 10007
(212) 788-3056
ZSchreiber@dep.nyc.gov

and

Shaminder Chawla
Assistant Director
NYCOER
(212) 442-3007
Schawla@dep.nyc.gov

For more information visit:
www.nyc.gov/oer

The New York City Office of Environmental Remediation (OER) provides this Fact Sheet pursuant to New York City's Voluntary Cleanup Program (VCP). An application has been submitted by Grand Residence LLC for enrollment of the property located at 125 Borinquen Place in the Williamsburg section of Brooklyn, New York and identified as Block 2411, Lot 1 into the VCP. The Remedial Investigation Report (RIR) details the results of an environmental investigation at the site including the nature and extent of contamination. The draft Remedial Action Work Plan (RAWP) proposes remedial actions to address contamination delineated in the RIR.

Public Comments on the RAWP

OER is accepting public comments on the draft RAWP for 30 days until July 17, 2013. The RIR and draft RAWP are available for review at the document repositories identified in the box on the left including a public library branch and through a link to OER's website. Comments should be sent to Mr. Shaminder Chawla via mail or e-mail (see contact information at left).

Site Description

The Site is 17,660 square feet and is currently vacant but formerly operated as a car wash, with two structures onsite, the former car wash facility and a vacant building formerly dedicated to use as an auto garage. The proposed future use of the Site will consist of a 6-story, 88-unit residential apartment building containing a fully built out cellar with commercial retail space. The first floor will contain parking, recreation, lobby area and one residential unit.

Summary of RIR

The environmental investigation identified up to three feet of historic fill. Semi Volatile Organic Compounds, metals, and five pesticides were detected above cleanup guidelines.

Groundwater samples identified no PCBs or pesticides above Groundwater Quality Standards (GQS). Two VOCs, SVOCs and three metals were detected above GQS. Soil vapor samples showed petroleum-related and chlorinated VOCs predominantly at low concentrations and below the monitoring level ranges established by New York State DOH. However, tetrachloroethene and trichloroethene were identified in site soil vapor above monitoring level.

Summary of the Remedy

The specific elements of the proposed remedial action include:

- Preparation of a Community Protection Statement and implementation of all required NYC VCP Citizen Participation activities according to an approved Citizen Participation Plan;
- Performance of a Community Air Monitoring Program for particulates and volatile organic carbon compounds;
- Establishment of Track 1 Unrestricted Use Soil Cleanup Objectives (SCOs);
- Excavation and removal of soil/fill exceeding Track 1 Unrestricted Use SCOs. For development purposes, the entire property will be excavated to a depth of 9 feet;
- Transportation and off-Site disposal of all soil/fill material at permitted facilities in accordance with applicable laws and regulations for handling, transport, and disposal, and this plan. Sampling and analysis of excavated media as required by facilities;
- Collection and analysis of end-point samples to determine the performance of the remedy with respect to attainment of SCOs;
- Installation of a vapor barrier below the basement slab and behind the foundation walls of the proposed building and installation of an active sub-slab depressurization system;
- Construction and maintenance of an engineered composite cover consisting of a 6-in thick concrete basement slab;
- Submission of a Remedial Action Report (RAR) that describes the remedial activities, certifies that the remedial requirements have been achieved, defines the Site boundaries, lists any changes from this RAWP;
- If Track 1 is not achieved, submission of an approved Site Management Plan (SMP) in the RAR for long-term management of residual contamination, including plans for maintenance, monitoring, inspection and certification of Engineering and Institutional Controls and reporting at a specified frequency; and
- Submission of an RAR that describes the remedial activities certifies that the remedial requirements have been achieved and lists any changes from the RAWP.

Next Steps

OER will review the draft RAWP and consider all public comments submitted during the comment period before it approves a final RAWP. The approved RAWP will be placed in the public library branch and on OER's website and a second fact sheet will be issued before remedial work begins.

If you have any questions or know of any neighbor that would like to be added to the site contact list, please contact the OER Project Manager listed on the front page of this Fact Sheet. We encourage you to share this Fact Sheet with neighbors and tenants and/or post it in a prominent area of your building. For information regarding New York City's Voluntary Cleanup Program, please visit our website at: www.nyc.gov/oer

Direct Link to Document Repository: <http://www.nyc.gov/html/oer/html/repository/RBrooklyn.shtml>

or scan with your smart phone to access document repository:



Figure 1 – Site Location Map

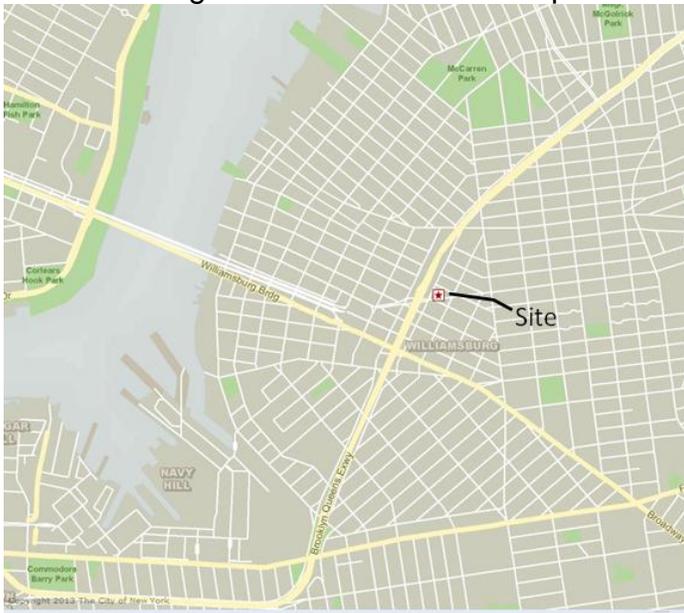


Figure 2 – Site Map

