

Public Comment Period

May 11, 2015
to
June 10, 2015

Where can I view project documents?

Online at:

<http://www.nyc.gov/html/oer/html/repository/RBrooklyn.shtml>

Internet access to view documents is available at the public library.

The closest location is:

Brooklyn Public Library
Saratoga Branch
8 Thomas S. Boyland Street
Brooklyn, New York 11233

Please call 718-573-5224 for hours of operation

Whom can I contact for project information?

Sarah Pong
Project Manager
NYCOER
100 Gold Street, 2nd Floor
New York, NY 10038
(212) 442-8342
spong@dep.nyc.gov

and

Shaminder Chawla
Deputy Director
NYCOER
(212) 442-3007
Schawla@dep.nyc.gov

For more information visit:
www.nyc.gov/oer

NYC VCP Cleanup Plan Available for Review and Comment

The New York City Office of Environmental Remediation (OER) provides this Fact Sheet pursuant to New York City's Voluntary Cleanup Program (VCP). An application has been submitted by Broadway Decatur Owners, LLC for enrollment of the property located at 1676 Broadway in the Bedford Stuyvesant section of Brooklyn, New York and identified as Block 1503, Lot 29 into the VCP. The Phase II details the results of an environmental investigation at the site including the nature and extent of contamination. The draft Remedial Action Work Plan (RAWP) proposes remedial actions to address contamination delineated in the investigations.

Public Comments on the RAWP

OER is accepting public comments on the draft RAWP for 30 days until June 10, 2015. The limited Phase II and draft RAWP are available for review at the document repositories identified in the box on the left including a public library branch and through a link to OER's website. Comments should be sent to Mr. Shaminder Chawla via mail or e-mail (see contact information at left).

Site Description

The Site most recently consisted of two commercial buildings and a paved parking area. The proposed future use of the Site will be a six-story supportive and affordable housing building with a cellar and with a rear parking and recreation area at grade.

Summary of RIR

The environmental investigation identified several pesticides and metals above cleanup guidelines in soil. Groundwater was not encountered and will be investigated after building demolition. Soil vapor samples showed high levels of petroleum-related VOCs and one chlorinated VOC above the monitoring level ranges.

Summary of the Remedy

The specific elements of the proposed remedial action include:

- Preparation of a Community Protection Statement and performance of all required NYC VCP Citizen Participation activities according to an approved Citizen Participation Plan;
- Implementation of a Community Air Monitoring Program for particulates and volatile organic carbon compounds;
- Selection of NYSDEC 6NYCRR Part 375 Unrestricted Use (Track 1) Soil Cleanup Objectives (SCOs);
- Excavation and removal of soil/fill exceeding Unrestricted Use (Track 1) SCOs. For development purposes, the Site encompassing the building footprint will be excavated to a depth of 12 feet below grade for construction of the new building's cellar level. Approximately 7,000 tons of will be excavated and removed from this Site;
- Transportation and off-Site disposal of all soil/fill material at permitted facilities in accordance with applicable laws and regulations for handling, transport, and disposal, and this plan. Sampling and analysis of excavated media as required by disposal facilities and appropriate segregation of excavated media onsite;
- Collection and analysis of end-point samples to determine the performance of the remedy with respect to attainment of SCOs;
- Submission of a Remedial Action Report (RAR) that describes the remedial activities and certifies that the remedial requirements have been achieved and lists any changes from this RAWP.

If Track 1 Unrestricted Use SCOs are not achieved, the following construction elements (as part of new development) will be implemented as Engineering and Institutional Controls:

- As part of new development, installation of a vapor barrier beneath the building slab and behind the foundation walls up to grade.
- As part of new development, installation of a passive sub-slab depressurization system (SSDS), with the ability to turn active if necessary, beneath the basement foundation to prevent any potential future exposures from off-Site soil vapor;
- As part of new development, construction and maintenance of an engineered composite cover consisting of a 6" thick concrete building slab and asphalt paved parking area to prevent human exposure to residual soil/fill remaining under the Site;
- Submission of an approved Site Management Plan (SMP) in the RAR for long-term management of residual contamination, including plans for operation, maintenance, monitoring, inspection and certification of Engineering and Institutional Controls and reporting at a specified frequency; and
- Recording of a deed restriction to prevent future exposure to any residual contamination at the site, and to inform future owners of the residual historic fill at the site.

Next Steps

OER will review the draft RAWP and consider all public comments submitted during the comment period before it approves a final RAWP. The approved RAWP will be placed on OER's website and a second fact sheet will be issued before remedial work begins.

If you have any questions or know of any neighbor that would like to be added to the site contact list, please contact the OER Project Manager listed on the front page of this Fact Sheet. We encourage you to share this Fact Sheet with neighbors and tenants and/or post it in a prominent area of your building. For information regarding New York City's Voluntary Cleanup Program, please visit our website at: www.nyc.gov/oer

Direct Link to Document Repository: <http://www.nyc.gov/html/oer/html/repository/RBrooklyn.shtml>

or scan with your smart phone to access document repository:



Figure 1 – Site Location Map

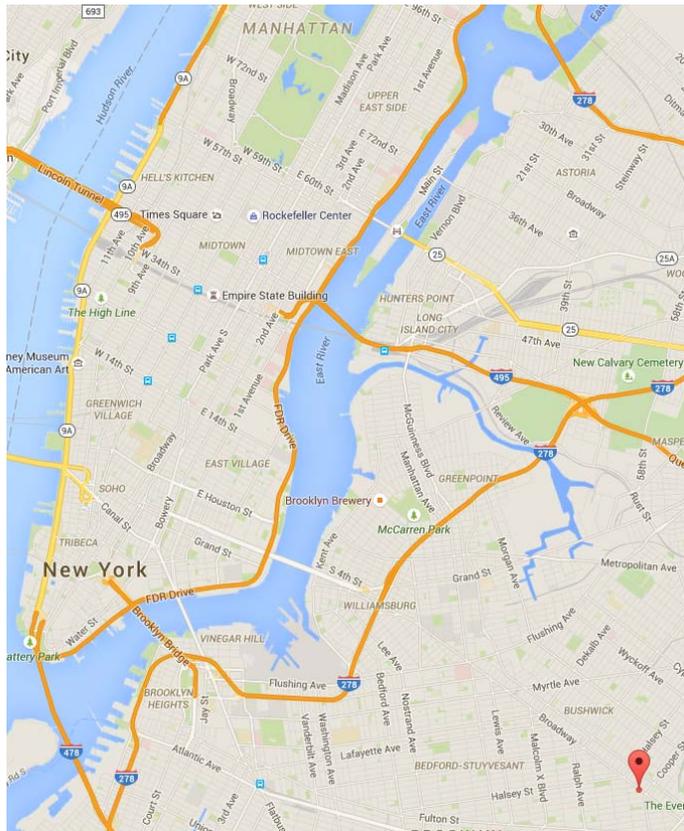


Figure 2 – Site Map

